



# DEPARTMENT OF CITY PLANNING

## RECOMMENDATION REPORT

### North Valley Area Planning Commission

<b>Date:</b>	Thursday, June 2, 2022	<b>Case No.:</b>	APCNV-2018-2850-ZC
<b>Time:</b>	after 4:30 p.m.	<b>CEQA No.:</b>	ENV-2018-2848-CE
<b>Place:</b>	Due to concerns over COVID-19, the APC meeting will be conducted entirely telephonically by Zoom [ <a href="https://zoom.us/">https://zoom.us/</a> ]. The meeting's telephone number and access code access number will be provided no later than 72 hours before the meeting on the meeting agenda published at <a href="https://planning.lacity.org/about/commissionsboards-hearings">https://planning.lacity.org/about/commissionsboards-hearings</a> and/or by contacting <a href="mailto:apcnorthvalley@lacity.org">apcnorthvalley@lacity.org</a>	<b>Related Case:</b>	VTT-82084-SL, ADM-2018-2849-SLD
		<b>Council No.:</b>	7 – Rodriguez
		<b>Plan Area:</b>	Mission Hills – Panorama City – North Hills
		<b>Specific Plan:</b>	None
		<b>Certified NC:</b>	North Hills East
		<b>General Plan:</b>	Low Medium I Residential
		<b>Current Zone:</b>	RA-1
		<b>Proposed Zone:</b>	(T)(Q)RD3-1
		<b>Applicant:</b>	Zion Hen
		<b>Representative:</b>	Moheb Gorgy; Gorgy Engineering Inc.
<b>Public Hearing:</b>	August 25, 2020		
<b>Appeal Status:</b>	Zone Change is appealable only by the applicant to City Council if disapproved in whole or in part.		
<b>Expiration Date:</b>	June 2, 2022, Subject to Mayor's Tolling Order		
<b>Multiple Approval:</b>	Yes		

**PROJECT LOCATION:** 9363 North Burnet Avenue

**PROPOSED PROJECT:** The project involves the subdivision of one-lot into seven small lots and a Zone Change from RA-1 to (T)(Q)RD3-1 to allow for the development of seven single-family dwellings. The existing lot is currently developed with a one-story single-family dwelling and garage to be demolished.

- REQUESTED ACTIONS:**
1. Pursuant to CEQA Guidelines, Article 19, Section 15332, Class 32 (In-fill Development Projects), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies; and
  2. Pursuant to Los Angeles Municipal Code Section 12.32 F, a Zone Change from RA-1 to (T)(Q)RD3-1.

#### RECOMMENDED ACTIONS:

1. **Find**, that based on the whole of the administrative record, the Project is exempt from CEQA pursuant to CEQA Guidelines, Article 19, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;

2. **Approval and Recommend** that the City Council **adopt**, pursuant to LAMC Section 12.32 F, a Zone Change from RA-1 to (T)(Q)RD3-1 for the subject property;
3. **Adopt** the attached Conditions of Approval; and
4. **Adopt** the attached Findings.

VINCENT P. BERTONI, AICP  
Director of Planning

*Blake Lamb*

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Blake Lamb  
Principal City Planner

*Claudia Rodriguez*

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Claudia Rodriguez  
Senior City Planner

*Sarah Hounsell*

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**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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## PROJECT ANALYSIS

### Project Summary

The project involves the subdivision of one lot into seven smaller lots and a Zone Change for density from RA-1 to (T)(Q)RD3-1 to allow for the development of seven single-family dwellings. The existing lot is currently developed with a one-story single-family dwelling and garage built in 1945 to be demolished. The project also involves the creation of a through driveway to provide access to the newly created single-family small lots.

The requested entitlements include (1) a Vesting Tentative Tract Map to permit the subdivision of one lot into seven lots (approved by the Deputy Advisory Agency on February 24, 2022), (2) a Zone Change to modify the existing RA-1 zone to (T)(Q)RD3-1 to allow for the density, and any additional actions including, but not limited to, tree removal, grading, excavation, haul routes, and building permits. Removal of street trees are subject to the review and approval by the Board of Public Works, Urban Forestry Division. As clarified in the Department of City Planning Memo dated December 13, 2016, the project is exempt from Measure JJJ as it results in the development of less than 10 residential dwelling units.

### Background

The subject site is a level, regular shaped lot consisting of approximately 21,555 gross square feet of lot area. The site is currently zoned RA-1, and the applicant is requesting a Zone Change to (T)(Q)RD3-1 to allow for the density of the subdivision of one-lot into seven small lots under Case No. VTT-82084-SL. The site is located on the west side of Burnet Avenue between Plummer Street to the north and Knapp Street to the south. The northwestern corner of the subject site abuts Columbus Avenue.

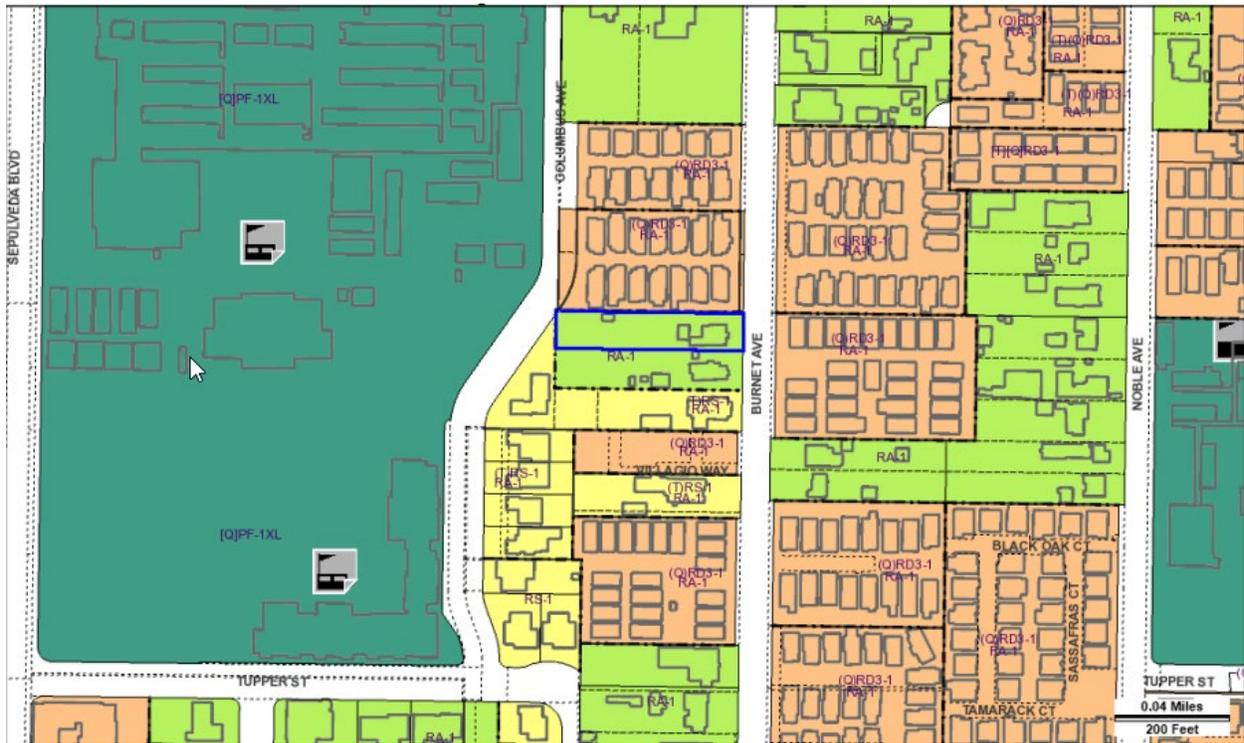
Burnet Avenue will provide vehicular and pedestrian access from the northeastern boundary of the site. Secondary pedestrian access will be provided from Columbus Avenue from the northwestern site boundary in conjunction with a proposed 22-foot easement from the adjacent lot. The gate will be for emergency fire access only.

The subject site is currently developed with an approximately 1,357 square foot single-family dwelling and garage. City records show that the existing structures were built in 1945. All of the existing structures and three non-protected trees on site are proposed for removal.

According to the Tree Report prepared by McKinley and Associates dated May 1, 2018, there are seven trees on the subject site, including five non-protected trees and two protected trees (two *Quercus agrifolia* or Coast Live Oaks on proposed Lots 3 and 5). Each of the two protected Coast Live Oak trees will be preserved in place. Three of the five non-protected trees are proposed for removal (*Ficus benjamina* or Weeping Chinese Banyan; *Callistemon viminalis* or Weeping Bottlebrush; *Walshingtonia filifera* or California Fan Palm). One non-protected *Erythrina caffra* or Coral Tree and one non-protected *Jungans hindsii* or Northern California Black Walnut will remain. Since the three non-protected trees proposed for removal are over 8-inches in diameter, the Tree Report recommends replacing each tree to be removed with one 24-inch box size tree. The landscape plans submitted by the applicant show the four trees to remain in place with the addition of ten 24-inch box size trees (three *Geijera parviflora* or Australian Willow and seven *Lophostemon confertus* or Brisbane Box). As recommended in the Tree Report, protective orange fencing will be around the four trees to be preserved.

Footnote No. 7 of the Mission Hills-Panorama City-North Hills Community Plan states:

There shall be no multiple residential development which exceed the density of the adjacent or surrounding residential density unless appropriately conditioned by the City Planning Commission and/or City Council to mitigate adverse impacts and to assure development harmonious and compatible with the surrounding neighborhood.



*Figure 1. ZIMAS zoning map*

As discussed herein, all small lot subdivision cases are conditioned to comply with the City's Small Lot Design Standards.

The subject site is located within a geographic area designated as ZI-2438, Equine Keeping in the City of Los Angeles. ZI-2438 establishes distance requirements for equine keeping. The applicant is not proposing any equine uses on the subject site. (Note: No equine keeping uses were observed based on the site visit conducted by Planning Department staff.) The subject site is also located within an Airport Hazard Zone, which applies to heights over 150 feet above Elevation 790 and 200 feet above Elevation 790. The highest point of the structures proposed herein is 30 feet.

#### General Plan Land Use Designation

The Mission Hills - Panorama City - North Hills Community Plan currently designates the subject property for Low Medium I Residential uses with corresponding zones of R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1 Zones. The project proposes zoning from RA-1 to (T)(Q)RD3-1 which is consistent with the land use designation.

#### Surrounding Properties

The abutting property to the north of the subject site is zoned (Q)RD3-1 and is designated Low Medium I Residential by the Community Plan. The site is developed with 14 residential two-story

detached condominium uses. A single-family residential dwelling unit is situated to the south of the subject site on a lot zoned RA-1 and designated Low Medium I Residential. To the east, across Burnet Avenue, abutting properties are zoned (Q)RD3-1 and designated Low Medium I Residential. These sites are improved with a 30 unit detached residential condominium project and one 25 unit detached residential condominium project. One abutting site to the west is zoned RS-1 and designed for Low Residential land uses by the Community Plan. That site is improved with a single-family residential dwelling unit. The other abutting site to the west, where the Sepulveda Middle School and Carlos Santana Arts Academy are located, are zoned [Q]PF-1XL and designed for Public Facilities by the Community Plan.

Most of the sites in the surrounding area are designated for Low Medium I Residential land use by the Community Plan and are zoned RA-1, (Q)RD3-1, and (T)RS-1. These sites are improved with one-story single-family residential dwelling units and two-story multi-family uses. A site at the corner of Burnet Avenue and Plummer Street is improved with a religious institution and associated parking, and a site to south of the subject site is also developed with a religious institution. The surrounding area to the west of the subject site along Columbus Avenue and Tupper Street includes properties designated for Low Residential land use by the Community Plan and zoned RS-1 and (T)RS-1 with an underlying zone of RA-1. These sites are developed with single-family residential uses.

#### Streets and Circulation

Burnet Avenue, a designated Collector, is designated for a 66-foot right-of-way width and a 40-foot roadway width. Burnet Avenue is partially improved with a curb, gutter, and sidewalk.

Columbus Avenue, a designated Local Street - Standard, is designated for a 60-foot right-of-way width and a 36-foot roadway width. Columbus Avenue is partially improved with a curb, gutter, and sidewalk.

#### Site Related Cases and Permits

Case No. VTT-82084-SL – On February 24, 2022, the Deputy Advisory Agency approved a Vesting Tentative Tract Map for a maximum of 7 single-family lots, as shown on the map stamp-dated June 18, 2021.

Permit Application No. 13016-20000-09547 - On September 5, 2013, the Los Angeles Department of Building and Safety (LADBS) issued a permit to repair a fire damaged single-family dwelling at the subject site.

City Records show eight Code Enforcement violations at the subject site issued by the Los Angeles Department of Building and Safety between March 15, 2005 and April 16, 2018. An Order to Comply/Substandard Order was issued for excessive rubbish, trash, and debris on site; open storage of commercial vehicles in a residential zone; auto repair in a residential zone; substandard construction of a residential structure; and overgrown vegetation. All of the orders are now closed.

CPC-2010-589-CRA – On March 25, 2010, the City Planning Commission adopted a preliminary plan on a proposed amendment to the Earthquake Disaster Assistance Plan for the Earthquake Disaster Assistance Project for portions of Council District 7, 6, and 2.

#### Surrounding Related Cases

VTT-73939-CN-M1 – On January 22, 2021, the Advisory Agency considered ENV-2020-587-CE and approved modified vesting tentative tract, with final maps recorded in two

phases, composed of 58 condominium dwelling units in Phase 1 and 17 condominium dwelling units in Phase 2 for a maximum total of 75 condominium dwelling units, located at 9433 Sepulveda Boulevard and 15500-15508 Plummer Street.

CPC-2015-4184-GPA-ZC-BL-SPR / Ordinance No. 185,837 – Effective December 30, 2018, the City Council approved a General Plan Amendment from Low Residential and Medium Residential to Low Medium II Residential and a Zone Change from RA-1 and R3-1 to (T)(Q)RD1.5-1 across a 3.13 acre site located at 9433 Sepulveda Boulevard and 15500-15508 Plummer Street. Additionally, the City Council approved a Site Plan Review for the development of 75 residential condominium units and effective December 30, 2018, the City Council repealed a 22-foot building line on the south side of Plummer Street along the site frontage.

APCNV-2007-2912-ZC-ZAA-ZAD / Ordinance No. 179,614 – Effective April 6, 2008, the City Council approved a Zone Change from RA-1 to (T)(Q)RD3-1; approved a Zoning Administrator's Adjustment for a 5 foot side yard setback, a variable height wall/fence up to 10 feet in the side and rear yards, and a 6 foot building separation between four buildings; and approved a Zoning Administrator's Determination for a 6-foot in height wall/fence in the front yard at 15221-15229 Villagio Way. TT-69085 – On August 22, 2007, the Advisory Agency approved a new maximum 6-unit condominium development.

APCNV-2004-4575-ZC-ZAA-F / Ordinance No. 177,633 – Effective July 29, 2006, the City Council approved a Zone Change from RA-1 to (T)(Q)RD3-1 including portions of the alley to be merged to the subject site at 9245 Burnet Avenue. On April 4, 2006, North Valley Area Planning Commission approved a Zoning Administrator's Determination for a reduced lot area, passageways, and a 6-foot high fence/wall in the front yard. TT-61171-M1 – On April 6, 2005, the Advisory Agency approved a Modification for 6 detached condominium units at 9245 Burnet Avenue.

APCNV-2003-9302-ZC-ZAA / Ordinance No. 176,691 – Effective July 10, 2005, the City Council approved a Zone Change from RA-1 to (T)(Q)RD3-1 and on February 24, 2005 the North Valley Area Planning Commission dismissed a Zoning Administrator's Adjustment for the site located at 9231, 9237, and 9251 Lemona Avenue. TT-60666-1A – On November 30, 2004, the North Valley Area Planning Commission granted an appeal in part, modified the action of the Advisory Agency, and approved a 24-unit detached condominium development.

### **Public Hearing and Additional Communications**

A joint Public Hearing was held virtually with the Hearing Officer and Deputy Advisory Agency for Case Nos. APCNV-2018-2850-ZC and VTT-82084-SL on August 25, 2020, at 11:00 a.m. There were five members of the public in attendance for the public hearing, in addition to the applicant and applicant's representative, Moheb Gorgy of Gorgy Engineering Inc., who agreed to all the conditions as assigned to the associated Vesting Tentative Tract Map. There were no additional comments or correspondences received after the public hearing. A letter of support was received prior to the public hearing from the North Hills East Neighborhood Council. More detail regarding the public hearing and comments raised is available in the Public Hearing and Communications section of this report (Page P-1).

On May 3, 2022, communication was received from an interested party stating that one of the protected trees scheduled to be preserved in place was not shown on the site plan and landscape plan. Exhibit "A" has been updated to show the preservation of all four on-site trees (Nos. 1, 4, 5 and 6) along the south property line, which were stated in the Tree Report prepared by McKinley and Associates dated May 1, 2018. It was also suggested that landscaping be provided in front

of the 6-foot high decorative a wall on both frontages for a visual break with natural plants (soft scape) along the sidewalk.

### Conclusion

Based on the Public Hearing and information submitted to the record, staff is recommending that the North Valley Area Planning Commission recommend that the City Council adopt the Zone Change from RA-1 to (T)(Q)RD3-1.

## **CONDITIONS FOR EFFECTUATING (T) TENTATIVE CLASSIFICATION REMOVAL**

Pursuant to Section 12.32-G of the Municipal Code, the (T) Tentative Classification shall be removed by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

Dedication(s) and Improvement(s). Prior to the issuance of any building permits, the following public improvements and dedications for streets and other rights of way adjoining the subject property shall be guaranteed to the satisfaction of the Bureau of Engineering, Department of Transportation, Fire Department (and other responsible City, regional and federal government agencies, as may be necessary):

### Responsibilities/Guarantees.

1. As part of early consultation, plan review, and/or project permit review, the applicant/developer shall contact the responsible agencies to ensure that any necessary dedications and improvements are specifically acknowledged by the applicant/developer.
2. **Bureau of Engineering.** Prior to issuance of sign offs for final site plan approval and/or project permits by the Department of City Planning, the applicant/developer shall provide written verification to the Department of City Planning from the responsible agency acknowledging the agency's consultation with the applicant/developer. The required dedications and improvements may necessitate redesign of the project. Any changes to project design required by a public agency shall be documented in writing and submitted for review by the Department of City Planning.
  - a. Dedications Required –
    - ii. That an 8-foot-wide strip of land be dedicated along Burnet Avenue adjoining the tract to complete a 33-foot wide half right-of-way in accordance with Collector Street standards of LA Mobility Plan.
    - iii. That a variable width strip of land be dedicated along Columbus Avenue to complete a 60-foot right-of-way in accordance with Local Street standards of LA Mobility Plan.
    - iv. That if this tract map is approved as a “Small Lot Subdivision” then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
    - v. That if this tract map is approved as a small lot subdivision then the final map be labeled as “Small Lot Subdivision per Ordinance No. 185462” satisfactory to the City Engineer.
    - vi. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.

- vii. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Valley Engineering District Office.
  - viii. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
  - ix. That the subdivider make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
  - x. That all pedestrian common access easements be shown on the final map.
- b. Improvements Required –
- i. Improve Burnet Street being dedicated and adjoining the tract by the construction of the following:
    - (1) A concrete curb, a concrete gutter, and a 6-foot concrete sidewalk to match the front of the new walk to the existing sidewalk to the north and the back of the new sidewalk at the new property line including landscaping of the parkway.
    - (2) Suitable surfacing to join the existing pavement and to complete a 22-foot half roadway. This half-roadway is to match the existing half-roadways already established along this portion of Burnet Avenue.
    - (3) Any necessary removal and reconstruction of existing improvements.
    - (4) The necessary transitions to join the existing improvement.
  - ii. Remove the existing non-permitted driveway along Columbus Avenue and remove and replace damaged curb, gutter, and sidewalk adjacent to this site. Construct a new driveway including any necessary removal and reconstruction of existing sidewalk, curb and gutter satisfactory to the City Engineer.
  - iii. Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.
3. **Urban Forestry Division.** Prior to the issuance of a grading permit, the applicant shall submit a tree report and landscape plan prepared by a Municipal Code-designated tree expert as designated by LAMC Ordinance No. 177,404, for approval by the City Planning Department and the Urban Forestry Division of the Bureau of Street Services.
- a. Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree plantings, the subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction to expedite tree planting.
  - b. Per the Tree Report prepared by McKinley and Associates dated May 1, 2018, the two protected *Quercus agrifolia* or Coast Live Oaks on proposed Lots 3 and 5 will be preserved in place. As recommended in the Tree Report, protective orange fencing will be placed

around the four trees to be protected in place to the satisfaction of the Urban Forestry Division.

Note: Removal or planting of any tree in the public right-of-way requires approval of the Board of Public Works. All protected tree removals must be approved by the Board of Public Works. Contact Urban Forestry Division at: 213-847-3077 for permit information.

### (Q) QUALIFIED CONDITIONS OF APPROVAL

Pursuant to Section 12.32-G of the Municipal Code, the following limitations are hereby imposed upon the use of the subject property, subject to the "Q" Qualified classification:

1. **Development.** The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibit "A" except as may be revised as a result of this action. The development shall conform to the plans stamped Exhibit "A" and approved by the Director of Planning under Case No. ADM-2018-2849-SLD. In the event the Advisory Agency modifies Vesting Tentative Tract Map No. 82084-SL to be inconsistent with the stamped plans, the subdivider shall submit revised plans in substantial conformance with the approved map to the satisfaction of the Advisory Agency prior to the issuance of a building permit.
2. **Density.** A maximum of seven (7) dwelling units shall be permitted.
3. **Landscaping.**
  - a. All open areas not used for buildings, parking areas, driveway, pedestrian pathways, utilities, or common open space areas shall be attractively landscaped and maintained.
  - b. Two protected trees will be preserved and the two significant non-protected trees will also remain in place.
  - c. A minimum of 10 trees (a minimum of 24-inch box in size) shall be planted as shown on the applicant's landscape plan stamp-dated June 18, 2020.
4. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.
5. **Lighting.** Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties or the public right-of-way, nor from above.
6. **Maintenance.** The subject property (including all trash storage areas, associated parking facilities, sidewalks, yard areas, parkways, and exterior walls along the property lines) shall be maintained in an attractive condition and shall be kept free of trash and debris.

#### **Administrative Conditions of Approval**

7. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review or approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file.
8. **Code Compliance.** Area, height and use regulations of the RD4-1 Zone classification of the subject property shall be complied with, except where herein conditions are more restrictive.
9. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the

County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Department of City Planning for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the file.

10. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public officials, legislation or their successors, designees or amendment to any legislation.
11. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.
12. **Building Plans.** Page 1 of the grants and all the conditions of approval shall be printed on the building plans submitted to the Department of City Planning and the Department of Building and Safety.
13. **Corrective Conditions.** The authorized use shall be conducted at all time with due regards to the character of the surrounding district, and the right is reserved to the North Valley Area Planning Commission, or the Director pursuant to Section 12.27.1 of the Municipal Code to impose additional corrective conditions, if in the Commission's or Director's opinion such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
14. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by

the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement (b).

- e. If the City determines it necessary to protect the City's interests, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commission, committees, employees and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## FINDINGS

### General Plan/Charter Findings

#### 1. General Plan.

- a. **General Plan Land Use Designation.** The subject property is located within the Mission Hills – Panorama City – North Hills Community Plan, adopted by the City Council on June 9, 1999 and designates the subject property for Low Medium I Residential land uses corresponding to the R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU and RW1 Zones. The site is presently zoned RA-1. The proposed RD3 Zone is a corresponding zone for the Low Medium I Residential land use designation in accordance with the Community Plan. The requested seven single-family lot subdivision is a use that is permitted in the proposed (T)(Q)RD3-1. The requested Zone Change would allow for a project that will increase home ownership opportunities in the plan area while maintaining consistency with the prevailing neighborhood character. Therefore, the project is in substantial conformance with the purposes, intent and provisions of the General Plan as reflected in the adopted Community Plan.
- b. The **Framework Element** of the General Plan (Framework Element) was adopted by the City of Los Angeles in December 1996 and re-adopted in August 2001. The Framework Element provides guidance regarding policy issues for the entire City of Los Angeles, including the project site. The Framework Element also sets forth a Citywide comprehensive long-range growth strategy and defines Citywide policies regarding such issues as land use, housing, urban form, neighborhood design, open space, economic development, transportation, infrastructure, and public services. The Framework Element includes the following Goals, Objectives and Policies relevant to the request:

Goal 3A: A physically balanced distribution of land uses that contributes towards and facilitates the City's long-term fiscal and economic viability, revitalization of economically depressed areas, conservation of existing residential neighborhoods, equitable distribution of public resources, conservation of natural resources, provision of adequate infrastructure and public services, reduction of traffic congestion and improvement of air quality, enhancement of recreation and open space opportunities, assurance of environmental justice and a healthful living environment, and achievement of the vision for a more liveable city.

Policy 3.1.1: Identify areas on the Long-Range Land Use Diagram and in the community plans sufficient for the development of a diversity of uses that serve the needs of existing and future residents (housing, employment, retail, entertainment, cultural/institutional, educational, health, services, recreation, and similar uses), provide job opportunities, and support visitors and tourism.

Policy 3.1.2: Allow for the provision of sufficient public infrastructure and services to support the projected needs of the City's population and businesses within the patterns of use established in the community plans as guided by the Framework Citywide Long-Range Land Use Diagram.

Policy 3.1.4: Accommodate new development in accordance with land use and density provisions of the General Plan Framework Long-Range Land Use Diagram and Table 3-1.

Objective 3.2: Provide for the spatial distribution of development that promotes an improved quality of life by facilitating a reduction of vehicular trips, vehicle miles traveled, and air pollution.

Policy 3.2.1: Provide a pattern of development consisting of distinct districts, centers, boulevards, and neighborhoods that are differentiated by their functional role, scale, and character. This shall be accomplished by considering factors such as the existing concentrations of use, community-oriented activity centers that currently or potentially service adjacent neighborhoods, and existing or potential public transit corridors and stations.

Policy 3.2.4: Provide for the siting and design of new development that maintains the prevailing scale and character of the City's stable residential neighborhoods and enhance the character of commercial and industrial districts.

The proposed zone change from RA-1 to (T)(Q)RD3-1 will allow for the development of an underutilized site, currently an unimproved lot, with seven new single-family residential lots which will accommodate development that supports the needs of the City's existing and future residents in accordance with the density outlined in the General Plan Framework Element. The proposed development is also in harmony with the prevailing scale and character of the stable residential neighborhood.

The proposed project is located approximately 0.2-miles southeast of intersection of Sepulveda Boulevard and Plummer Street and is proximate to a variety of transportation services including Metro Local Lines 167 and 234. The property is also located within close proximity to several schools and commercial uses across Sepulveda Boulevard, which include offices, places of worship, commercial retail shopping, restaurants and eateries, and other retail and services. The Zone Change allows for more intense development of the subject property, which will locate more residences proximate to transit and various destinations, thereby having the potential to reduce vehicular trips, vehicle miles traveled, and air pollution.

Therefore, the Zone Change is consistent with the Distribution of Land Use goals, objectives and policies of the General Plan Framework Element.

- c. **Mission Hills – Panorama City - North Hills Community Plan.** The Community Plan text includes the following relevant land use Objectives and Policies:

Objective 1-1: To provide for the preservation of existing housing and for the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area to the year 2010.

Objective 1-2: To locate new housing in a manner which reduces vehicular trips and makes it accessible to services and facilities.

Objective 1-3: To preserve and enhance the varied and distinct residential character and integrity of existing single and multi-family neighborhoods.

Objective 1-5: To promote and insure the provision of adequate housing for all persons regardless of income, age, or ethnic background.

The proposed zone change from RA-1 to (T)(Q)RD3-1 allows for the future development of an under improved site with new, for-sale single-family homes. When constructed, a maximum of seven new single-family dwelling units could be developed on the project site, each on their own single-family lot. The project is in harmony with the pattern of development in the surrounding area and will encourage the preservation and enhancement of this distinctive and stable single-family neighborhood. The proposed zone change is in alignment with the site's land use designation as envisioned by the Community Plan. Additionally, once developed, the proposed zone change request will result in the ability for a single-family development that equates to a modest increase in residential density located closer to commercial centers and major bus routes, thereby locating new housing in a manner that may reduce vehicular trips and dependency.

Thus, the proposed zone change is consistent with the goals, objectives, and policies of the Mission Hills – Panorama City - North Hills Community Plan.

- d. The **Housing Element** of the General Plan will be implemented by the recommended action herein. The Housing Element is the City's blueprint for meeting housing and growth challenges. It identifies the City's housing conditions and needs, reiterates goals, objectives, and policies that are the foundation of the City's housing and growth strategy, and provides the array of programs the City has committed to implement to create sustainable, mixed-income neighborhoods across the City. The Housing Element includes the following Goal, Objectives and Policies relevant to the instant request:

Goal 1: A City where housing production and preservation result in an adequate supply of ownership and rental housing that is safe, healthy and affordable to people of all income levels, races, ages, and suitable for their various needs.

Objective 1.1: Produce an adequate supply of rental and ownership housing in order to meet current and projected needs.

Policy 1.1.3: Facilitate new construction and preservation of a range of different housing types that address the particular needs of the city's households.

Goal 2: A City in which housing helps to create safe, livable and sustainable neighborhoods.

Policy 2.2.5: Provide sufficient services and amenities to support the planned population while preserving the neighborhood for those currently there.

Policy 2.4.1: Promote preservation of neighborhood character in balance with facilitating new development.

The project site is located in an area which is developed with a distinct single-family and detached multiple-family condominium pattern of development and character. Aside from the parcels zoned for public facilities and single-family to the east of the property, the surrounding neighborhood is designated for multiple-family development. Properties to the north, northeast and east are zoned (Q)RD3-1. The property to the south is RA-1. The properties to the east are zoned (T)RS-1 and [Q]PF-1XL. The proposed density and scale of the small lot is similar to surrounding homes and compatible with the existing character of the neighborhood within the detached condominium development. The small lot subdivision also provides a buffer or transition between the single-family and multiple-family developments in the existing neighborhood. As proposed, the requested zone change would result in the development of an under improved land with up to seven single-

family lots. The development would facilitate new housing construction and provide more home ownership opportunities while preserving the existing character. The pattern of development will create a stable environment to slow down traffic and mitigate off-street parking impacts with the creation of the through driveway along the north property line. New residents will have access to various commercial amenities along Sepulveda Boulevard and public services, including schools, parks, and recreation centers.

Furthermore, the multiple approvals requested under Case No. APCNV-2018-2850-ZC, along with Case No. VTT-82084-SL streamlines the land use entitlement, environmental review, and building permit process by enabling the development of seven single-family homes under one approval. Therefore, the zone change is consistent with the Housing Element goals, objectives and policies of the General Plan.

- e. The **Mobility Element** of the General Plan (Mobility Plan 2035) is not likely to be affected by the recommended action herein. Burnet Avenue is a designated Collector dedicated to a width of 57 feet and partial improved; and Columbus Avenue is a designated Local Street – Standard dedicated to a variable width of approximately 60 and partly improved. Burnet Avenue is only improved with concrete curb, gutter, and sidewalk on the easterly side fronting existing detached condominium residences and Columbus Avenue is developed with curb, gutter and sidewalk to the north and west of the project's street frontage. As part of the (T) Tentative Classification conditions incorporated herein, additional dedications and improvements on each of these streets adjoining the subdivision will be required. Consequently, the project will result in the reconstruction of the existing sidewalk and construction of a full width concrete sidewalk with tree wells or a five-foot concrete sidewalk with landscaping of the parkway along Burnet Avenue and a new driveway apron along Columbus Avenue.

The proposed project is in conformance with the Mobility Element policies listed below:

- Policy 1.4: Design streets to Targeted Operating Speeds as defined in the Complete Streets Design Guide.
- Policy 2.3: Recognize walking as a component of every trip and ensure high quality pedestrian access in all site planning and public right-of-way modifications to provide a safe and comfortable walking environment.
- Policy 2.4: Provide a slow speed network of locally serving streets.
- Policy 3.3: Promote equitable land use decisions that result in fewer vehicle trips by providing greater proximity and access to jobs, destinations, and other neighborhood services.

The project complies with subdivision design and public safety standards to ensure safe and convenient access for residents. The project is an infill development that will increase accessibility to existing neighborhood destinations such as parks, shopping centers, and employment centers. The proposed project is located approximately 0.2-miles southeast corner of Sepulveda Boulevard and Plummer Street and is proximate to a variety of transportation services including Metro Local Lines 167 and 234. Therefore, the zone change is consistent with the Mobility Plan 2035 goals, objectives, and policies of the General Plan.

- f. The **Sewerage Facilities Element** of the General Plan will not be affected by the recommended action. While the sewer system might be able to accommodate the total

flows for the proposed project, further detailed gauging and evaluation may be needed as part of the permit process to identify a specific sewer connection point. If the public sewer has insufficient capacity, then the developer will be required to build sewer lines to a point in the sewer system with sufficient capacity. A final approval for sewer capacity and connection permit will be made at that time. Ultimately, this sewage flow will be conveyed to the Hyperion Treatment Plant, which has sufficient capacity for the project.

### **Zone Change and “T” Classification Findings**

#### **2. Pursuant to Section 12.32 of the Municipal Code, the zone change and classifications are necessary because:**

- a. **Public Necessity:** On April 29, 2019, Mayor Eric Garcetti released LA’s Green New Deal (Sustainable City pLAn), a roadmap to achieve short-term results while setting the path to strengthen the transformation of the City in the decades to come. As part of the plan, the Mayor set forth goals of ending street homelessness by 2028, increasing cumulative new housing construction to 100,000 by 2021 and ensuring that new housing is located near transit. The zone change would allow the under improved site to be developed with a total of seven new market rate for-sale homes at the site. The proposed project is located approximately 0.2-miles southeast proximate to a variety of transportation services including Metro Local Lines 167 and 234. By increasing housing supply and providing new housing within proximity to transit and commercial services and amenities, the project is consistent with public necessity.
- b. **Convenience:** The project site is located in an area of the North Hills community that is highly urbanized, with parks, schools, and transportation infrastructure. The proposed project would allow for the development of seven new dwelling units across the street from Francisco Sepulveda Middle Kinesiology and Sports Medicine Magnet, Francisco Sepulveda Middle School, Carlos Santana Arts Academy (Dual Language Spanish), and Carlos Santana Arts Academy. North Hills Community Park and Sepulveda Recreation Center and pool are approximately 0.5 miles south of the project site. The property is also located approximately 0.25-miles north of Sepulveda Boulevard and Nordhoff Street, which are major thoroughfares and commercial centers, and is proximate to a variety of transportation services including Metro Local Lines 167 and 234. Various commercial amenities are located along Sepulveda Boulevard which include offices, places of worship, commercial retail shopping, restaurants and eateries, and other retail and services. Granting the zone change from RA-1 to the proposed (T)(Q)RD3-1 Zone would allow future residents access to shopping, dining and services within the immediate neighborhood, as well as the opportunity to utilize nearby parks and to send their children to nearby schools.
- c. **General Welfare:** Granting the zone change to the (T)(Q)RD3-1 Zone would provide an opportunity for the development of an under improved lot with up to seven new single-family residential lots that will expand home ownership opportunities in the North Hills communities of the city. As discussed above, the area is served by neighborhood-serving uses such as schools, gyms, parks, restaurants and other services and amenities. The proposed project will also result in zoning and development pattern similar to the existing neighborhood character. The zone change to the (T)(Q)RD3-1 Zone will increase the city’s housing stock, while minimizing any burden placed upon the existing infrastructure, including roads and utilities.
- d. **Good Zoning Practice:** The proposed RD3 Zone is identified as a corresponding zone of the Low Medium II Residential land use designation whereas the existing RA Zone is not. The proposed zone change would allow for the development of an underutilized site to

create seven new single-family homes, corresponding with the existing planned Low Medium II Land Use Designation. The development would be consistent with the density, zoning, and scale of surrounding properties. As such, the proposed (T)(Q)RD3-1 Zone would ensure that the density of the development would be compatible with existing and future development surrounding the project site.

- e. “T” Classification Findings: Per Section 12.32-G,1 of the Municipal Code, the current action, as recommended, has been made contingent upon compliance with new “T” conditions of approval. Such limitations are necessary to ensure the identified dedications, improvements, and actions are undertaken to meet the public’s needs, convenience, and general welfare served by the required actions. The proposed (T)(Q)RD3-1 Zone restricts density, scale, and use intensity that are allowed on the site, unless further discretionary actions are pursued. Compliance with the new “T” conditions of approval will ensure future development on the site will: be in a manner that protects the public safety; is compatible with the overall pattern of the existing single-family residential development in the community; is appropriate and in harmony with the General Plan as discussed in Findings Section 1; and prevents or alleviates the potential adverse environmental effect of adding additional dwelling units to the established neighborhood.

### **Additional Findings**

3. **Environmental Findings.** Based on the whole of the administrative record, as supported by the justification prepared and found in the environmental case file, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines, Article 19, Section 15332, Class 32, and there is no substantial evidence demonstrating that any exceptions contained in Section 15300.2 of the State CEQA Guidelines regarding location, cumulative impacts, significant effects or unusual circumstances, scenic highways, or hazardous waste sites, or historical resources apply.
4. **Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 186,952, have been reviewed and it has been determined that this project is located outside the flood zone, areas of minimal flood hazard.

## PUBLIC HEARING AND COMMUNICATIONS

A joint Public Hearing was held virtually with the Hearing Officer and Deputy Advisory Agency for Case Nos. APCNV-2018-2850-ZC and VTT-82084-SL on August 25, 2020, at approximately 11:10 a.m. There were four members of the public in attendance for the public hearing, in addition to the applicant and applicant's representative, Moheb Gorgy (Gorgy Engineering Inc.), who agreed to all the conditions as assigned to the associated Vesting Tentative Tract Map. There were no additional comments or correspondences received after the public hearing.

### 1. Testimony - Oral

- a. The applicant's representatives briefly presented the project, stating that a required reduction in the front yard setback was necessary to provide the seventh house, stated that the home would be reasonably priced and agreed to accept all comments and conditions as imposed on the Vesting Tentative Tract Map. However, the Advisory Agency took the case under advisement until the design in accordance with the Small Lot Design Guidelines was submitted for review and approval.
- b. A neighbor across the street stated that due to all the new residential in the area and lack of parking that these new seven units would not sell and would end up renting like the 5-10 homes down the street. He also stated that the current house on site was previously a meth house which was noisy, held parties and had break-ins.
- c. The president of the adjacent HOA inquired about the number of days the project would be under construction, hours during the day construction would occur, if abatement for the existing structure was considered, and what the recourse if the fire lanes on the proposed project was not observed.
- d. Another neighbor echoed the comment about lack of parking proposed with the project and within the neighborhood.
- e. The final speaker stated that parking is not ample especially on days when the garbage cans are out. And then proceeded to ask about the timeline for construction.
- f. No representatives from the Council District office were present. The applicant's representative added that they attended the homeowner association hearing for outreach, stated that additional public street parking and vehicular access is provided from Columbus Avenue in the evenings after school is out, and that the two-car garage for each house is better than the renter ratio.
- g. The Deputy Advisory Agency recommended both streets should be dedicated as shown on the plans, no street lighting was conditioned, and the tract map was taken under advisement until the approval for the administrative case showing compliance with the Small Lot Design Guidelines was completed.

### 2. Testimony - Written

- a. A letter dated December 10, 2019, was received from the North Hills East Neighborhood Council (NHENC) stating that at the Special Board of Directions Meeting on February 4, 2019, the NHENC voted unanimously to support the demolition of the existing home, change zoning from RA-1 to RD3, support the application of a 7-small-lot subdivision on Burnet Avenue including two-story houses, access to the roof and small gardens, and reduced yard from 15 feet to 13 feet.

Case No. APCNV-2018-2850-ZC

# **EXHIBIT A**

## **Architectural Plans**

# 9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

## SCOPE OF WORK:

- NEW 7 UNIT DWELLINGS ON A SMALL LOT SUBDIVISION (ORDINANCE NO. 164,845)
- EACH UNIT TO BE 2-STORY OVER GARAGE
- BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER IN ACCORDANCE WITH SECTION R313.3 OR NFPA 13R.(R313, 12.21A17(D))
- (E) SFD TO BE DEMOLISHED. CLEAR LOT FOR NEW CONSTRUCTION OF 7 UNIT SMALL LOT SUBDIVISION.

## SHEET INDEX

A-0.0	COVER SHEET – FIRE NOTES, PROJECT DATA, VICINITY MAP, AND INDEX OF DRAWINGS
A-1.0	GREEN BUILDING SHEETS/ NOTES
A-1.1	GREEN BUILDING SHEETS/ NOTES
A-1.2	MANDATORY MEASURES SUMMARY
A-1.3	GENERAL NOTES
A-2.0	SITE PLAN
A-2.1	LOT COVERAGE
A-3.0	PROPOSED UNIT 1 – FLOOR PLAN
A-3.1	PROPOSED UNIT 2 – FLOOR PLAN
A-3.2	PROPOSED UNIT 3 – FLOOR PLAN
A-3.3	PROPOSED UNIT 4 – FLOOR PLAN
A-3.4	PROPOSED UNIT 5 – FLOOR PLAN
A-3.5	PROPOSED UNIT 6 – FLOOR PLAN
A-3.6	PROPOSED UNIT 7 – FLOOR PLAN
A-4.0	PROPOSED UNIT 1 – ROOF PLAN
A-4.1	PROPOSED UNIT 2 – ROOF PLAN
A-4.2	PROPOSED UNIT 3 – ROOF PLAN
A-4.3	PROPOSED UNIT 4 – ROOF PLAN
A-4.4	PROPOSED UNIT 5 – ROOF PLAN
A-4.5	PROPOSED UNIT 6 – ROOF PLAN
A-4.6	PROPOSED UNIT 7 – ROOF PLAN
A-5.0	UNIT 1 – BUILDING SECTIONS
A-5.1	UNITS 2, 4, 6 – BUILDING SECTIONS
A-5.2	UNITS 3, 5, 7 – BUILDING SECTIONS
A-5.3	UNIT 7 – BUILDING SECTIONS
A-6.0	UNIT 1 – NORTH / SOUTH ELEVATIONS
A-6.1	UNIT 1 – EAST / WEST ELEVATIONS
A-6.2	UNITS 2, 4, 6 – NORTH / SOUTH ELEVATIONS
A-6.3	UNITS 2, 4, 6 – EAST / WEST ELEVATIONS
A-6.4	UNITS 3, 5 – NORTH / SOUTH ELEVATIONS
A-6.5	UNITS 3, 5, 7 – EAST / WEST ELEVATIONS
A-6.6	UNIT 7 – NORTH / SOUTH ELEVATIONS
A-6.7	UNITS 1-7 (NORTH / SOUTH ELEVATIONS)
A-7.0	DOOR / WINDOW SCHEDULE
AD-1	ARCHITECTURAL DETAILS
AD-2	ARCHITECTURAL DETAILS
AD-3	ARCHITECTURAL DETAILS

## PROJECT DATA

CONSTRUCTION TYPE: V – B  
 BUILDING CODE DATA: 2020 CBC / 2020 AMENDMENTS  
 SPRINKLERS: NFPA 13R  
 LOT SIZE: 325' X 66' (PRE-DEDICATION)  
 317' X 66' (POST-DEDICATION)  
 SITE AREA: 21,554.6 S.F. (PRE-DEDICATION)  
 20,922 S.F. (POST-DEDICATION)  
 MAX/PROPOSED ADU HEIGHT: 30'-0"  
 SETBACKS: FY: 13' REQUIRED / 13' PROVIDED  
 RY: 15' REQUIRED / 15' PROVIDED  
 SY: 6'-6" REQUIRED  
 SY: 20'-6" AND 9'-6" PROVIDED  
 STORIES: 3-STORY  
 PARKING REQUIRED: 2 SPACES PER UNIT  
 7 X 2 = 14 SPACES REQUIRED  
 PARKING PROVIDED: 14 SPACES PROVIDED

## LEGAL DESCRIPTION:

ZONE: RD3-1  
 OCCUPANCY: R3 / U  
 ASSESSOR'S ID NO. 2656-020-001  
 TRACT: SUBDIVISION NO. 1 OF THE PROPERTY OF THE PORTER LAND AND WATER COMPANY  
 LOT: PT 47 SEC 21 T2N R15W  
 BLOCK: NONE  
 ARB: 1

LOT NO.	FRONT	REAR	SIDE	SIDE (N/S/E/W)
1	13' (EAST)	3' (WEST)	6.5' (NORTH)	6.5' (SOUTH)
2	5' (NORTH)	5' (SOUTH)	3' (EAST)	3' (WEST)
3	5' (NORTH)	5' (SOUTH)	3' (EAST)	3' (WEST)
4	5' (NORTH)	5' (SOUTH)	3' (EAST)	3' (WEST)
5	5' (NORTH)	5' (SOUTH)	3' (EAST)	3' (WEST)
6	5' (NORTH)	5' (SOUTH)	3' (EAST)	3' (WEST)
7	5' (NORTH)	5' (SOUTH)	3' (EAST)	15' (WEST)

LOT NO.	FRONT	REAR	SIDE	SIDE (N/S/E/W)
1	13' (EAST)	3' (WEST)	20.5' (NORTH)	8' (SOUTH)
2	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
3	21' (NORTH)	7.5' (SOUTH)	3' (EAST)	3' (WEST)
4	21' (NORTH)	7.5' (SOUTH)	3' (EAST)	3' (WEST)
5	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
6	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
7	21' (NORTH)	7.5' (SOUTH)	3' (EAST)	15' (WEST)

## EXTERIOR WALL AREA:

FLOOR AREA	UNIT 1	UNITS 2 - 7	TOTAL
FIRST FLOOR	928 S.F.	926 S.F. X (6)	6,484 S.F.
SECOND FLOOR	1,368 S.F.	1,374 S.F. X (6)	9,612 S.F.
TOTAL	2,296 S.F.	2,300 S.F. X (6)	16,096 S.F.
GARAGE	384 S.F.	384 S.F. X (6)	2,688 S.F.

## INTERIOR WALL AREA:

FLOOR AREA	UNIT 1	UNITS 2 - 7	TOTAL
FIRST FLOOR	875 S.F.	872 S.F. X (6)	6,107 S.F.
SECOND FLOOR	1,295 S.F.	1,301 S.F. X (6)	9,101 S.F.
TOTAL	2,170 S.F.	2,173 S.F. X (6)	15,208 S.F.
GARAGE	365 S.F.	365 S.F. X (6)	2,555 S.F.
ROOF DECK			6,174 S.F.



VICINITY MAP  
NOT TO SCALE



## OWNER

ZION HEN  
5544 YOLANDA AVE.  
TARZANA, CA 91356  
818-331-0747

## STRUCTURAL

GORGY ENGINEERING, INC.  
1545 VICTORY BLVD.  
GLENDALE, CA 91201  
SUITE 102  
888-507-5747

## DESIGNER

HS DESIGN  
16853 HIAWATHA ST.  
GRANADA HILLS, CA 91344  
323-243-2639

## TITLE 24

## LANDSCAPE

Yael Lir Landscape Architects  
1010 SYCAMORE AVE.  
PASADENA, CA 91030  
SUITE 313  
323-258-5222



16853 HIAWATHA ST. GRANADA HILLS, CA. 91344  
OFFICE: 323-243-2639

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Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
 FOR  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
COVER SHEET

Designer : HS  
 Manager :  
 Start Date : 01/25/21  
 Job No : 21-044  
 Scale :  
 Drawing No :

A-0.0

AUGUST 23, 2021

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

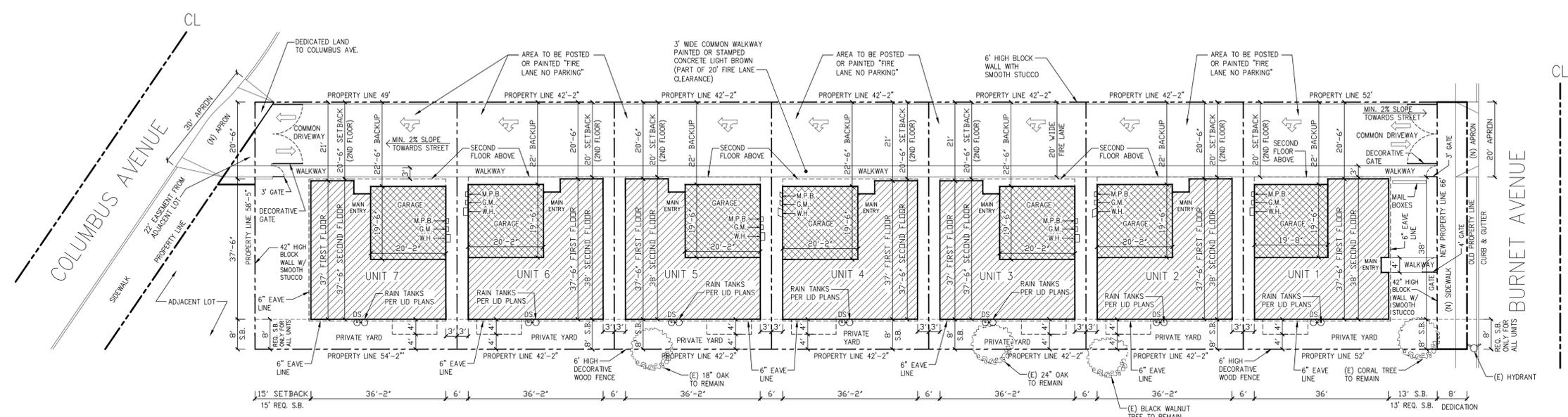

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**SITE PLAN**

Designer : **HS**  
 Manager :  
 Start Date : **01/25/21**  
 Job No : **21-044**  
 Scale :  
 Drawing No :

APRIL 27, 2022

A-2.0



UNITS 3, 4 AND 7 TO BE RECESSED BACK 6" MORE THAN THE OTHER UNITS.

**SITE PLAN**  
1/16" = 1'-0"

- ABBREVIATIONS:**
- W.H. - WATER HEATER (TANKLESS)
  - G.M. - GAS METER & SHUT OFF VALVE
  - M.P.B. - MAIN PANEL BOX

LOT NO.	FRONT	REAR	SIDE	SIDE (N/S/E/W)
1	13' (EAST)	3' (WEST)	20' (NORTH)	8' (SOUTH)
2	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
3	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
4	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
5	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
6	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
7	12' (NORTH)	8' (SOUTH)	3' (EAST)	15' (WEST)

LOT NO.	FRONT	REAR	SIDE	SIDE (N/S/E/W)
1	13' (EAST)	3' (WEST)	20' (NORTH)	8' (SOUTH)
2	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
3	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
4	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
5	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
6	20' (NORTH)	8' (SOUTH)	3' (EAST)	3' (WEST)
7	20.5' (NORTH)	8' (SOUTH)	3' (EAST)	15' (WEST)

**GENERAL NOTES:**

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED)
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2)
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- WATER HEATER MUST BE STRAPPED TO WALL (SEC.507.3, LAPC)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.6.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED.
- WATER USED IN THE BUILDING FOR WATER CLOSETS, URINALS, FLOOR DRAINS, AND PROCESS COOLING AND HEATING SHALL COME FROM CITY-RECYCLE WATER IF AVAILABLE FOR USE WITHIN 200 FEET OF THE PROPERTY LINE.
- LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONTAINERS FOR WASTE AND RECYCLED MATERIAL MUST BE PROVIDED ON SITE AND CONTRACTOR TO VERIFY THAT WASTE AND RECYCLED MATERIAL WILL BE SEPARATED AND REMOVED BY CITY OF LOS ANGELES CERTIFIED HAULER
- PROVIDE LOW CONSUMPTION WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER
- ALL CONCENTRATED DRAINAGE INCLUDING ROOF WATER SHALL BE CONDUCTED TO THE STREET IN AN APPROVED DEVICE AT 2%.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3).

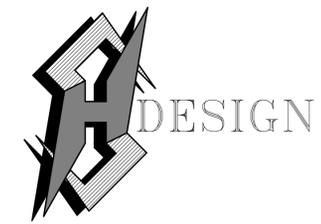
- HARDSCAPE MATERIAL WITH AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30 (4.106.7)
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCTS, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE
- NO FRAMING SHALL BE ALLOWED UNTIL THE ROADWAY IS INSTALLED TO THE SATISFACTION OF THE FIRE DEPARTMENT.
- ELECTRIC GATES APPROVED BY THE FIRE DEPARTMENT SHALL BE TESTED BY THE FIRE DEPARTMENT PRIOR TO BUILDING AND SAFETY GRANTING AND CERTIFICATE OF OCCUPANCY.

**INTERIOR ENVIRONMENT NOTES:**

- ATTIC AREA HAVING CLEAR HEADROOM OF 30" MUST HAVE AN ACCESS OPENING (22"x30" MINIMUM). ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. IT IS NOT ALLOWED WITHIN A SMALL CLOSET SPACE. (R807.1)
- PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE 407.6)
- PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CALIF. PLUMB. CODE 407.6)
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

→ DRAINAGE ARROW SHOWING DIRECTION OF 2% SLOPE

- LID NOTES:**
- ALL ROOF RUNOFF TO DRAIN TO RAIN BARRELS.
  - ALL DOWNSPOUTS TO DRAIN TO RAIN BARRELS.
  - ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM WATER BEST MANAGEMENT PRACTICE(S) (BPM'S) MUST BE OBTAINED WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUREAU OF SANITATION PRIOR TO INSTALLATION OF BMP'S.



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Revisions:	Date:

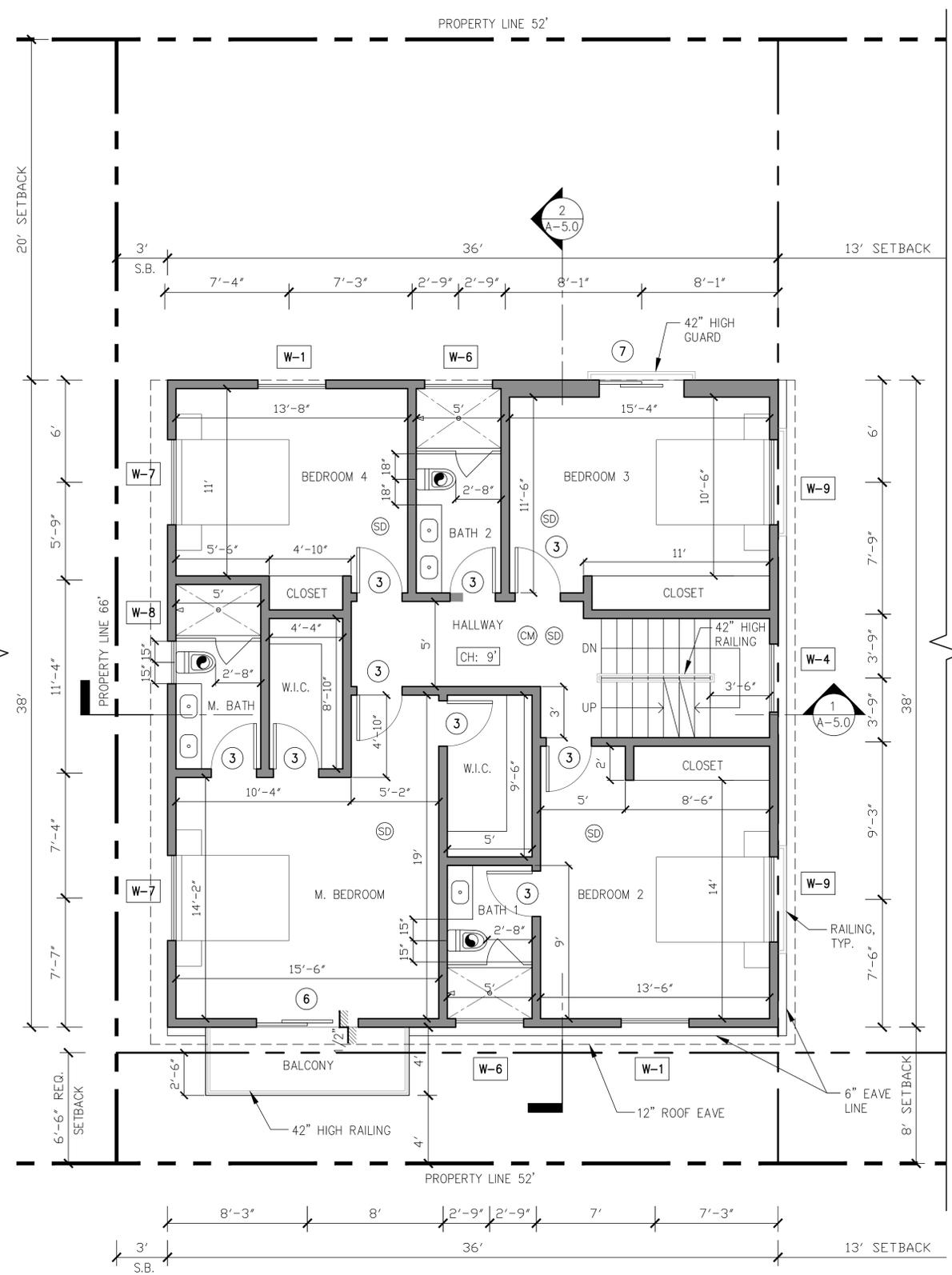
NEW 7 SMALL LOT SUBDIVISION FOR  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content:  
**PROPOSED UNIT 1  
 FIRST & SECOND FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-3.0



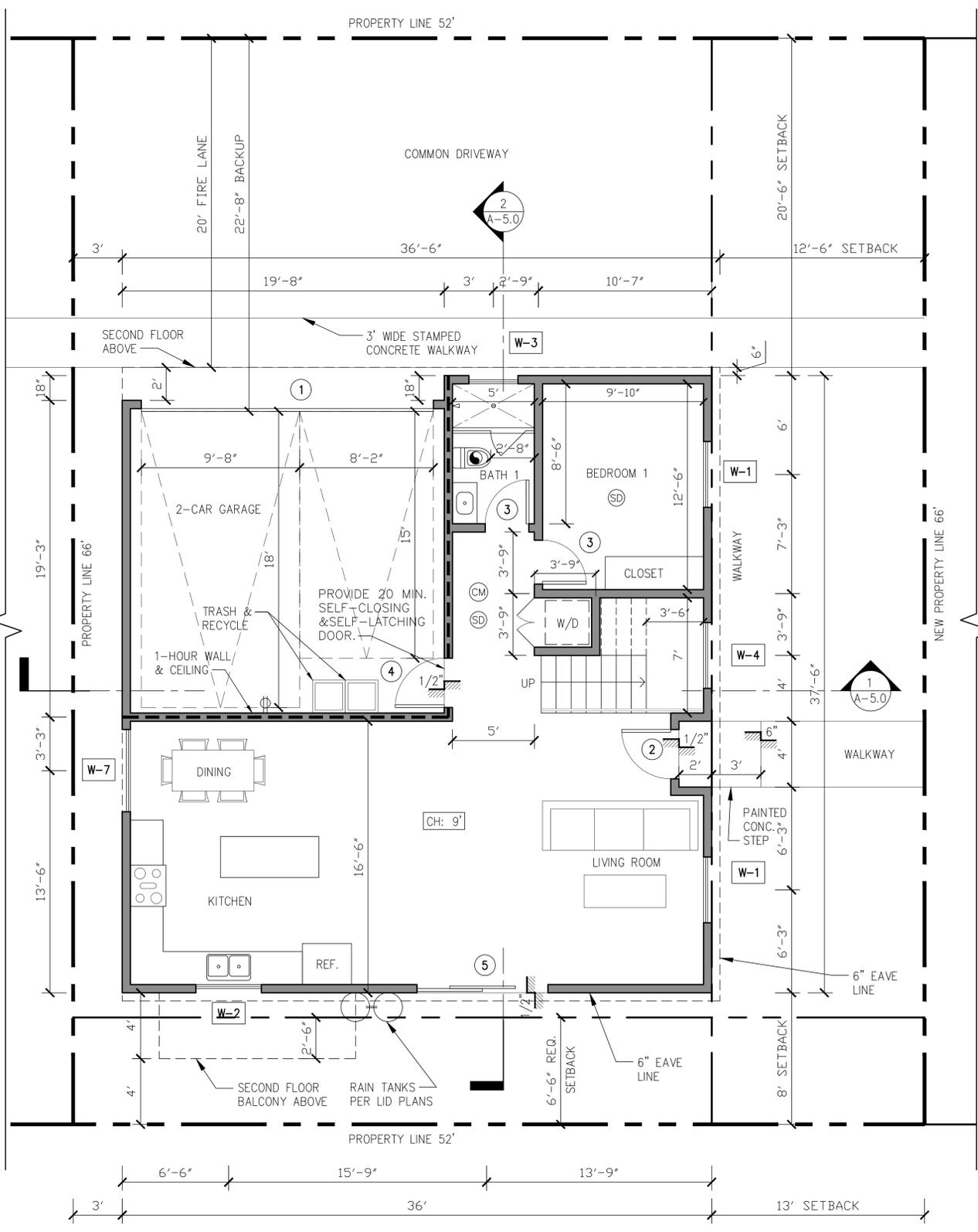
**PROPOSED UNIT 1  
 SECOND FLOOR PLAN** 1/4" = 1'-0"

**SYMBOLS LEGEND:**

- CEILING EXHAUST FAN FIXTURE (FIVE AIR CHANGES PER HOUR, 50 CFM)
- NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

- ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- Ⓞ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR

- NOTE:**
- BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
  - THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
  - WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
  - CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
  - THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).



**PROPOSED UNIT 1  
 FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

- ▬ STUD WALLS
- ▬ 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- Ⓢ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE
- W-# WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

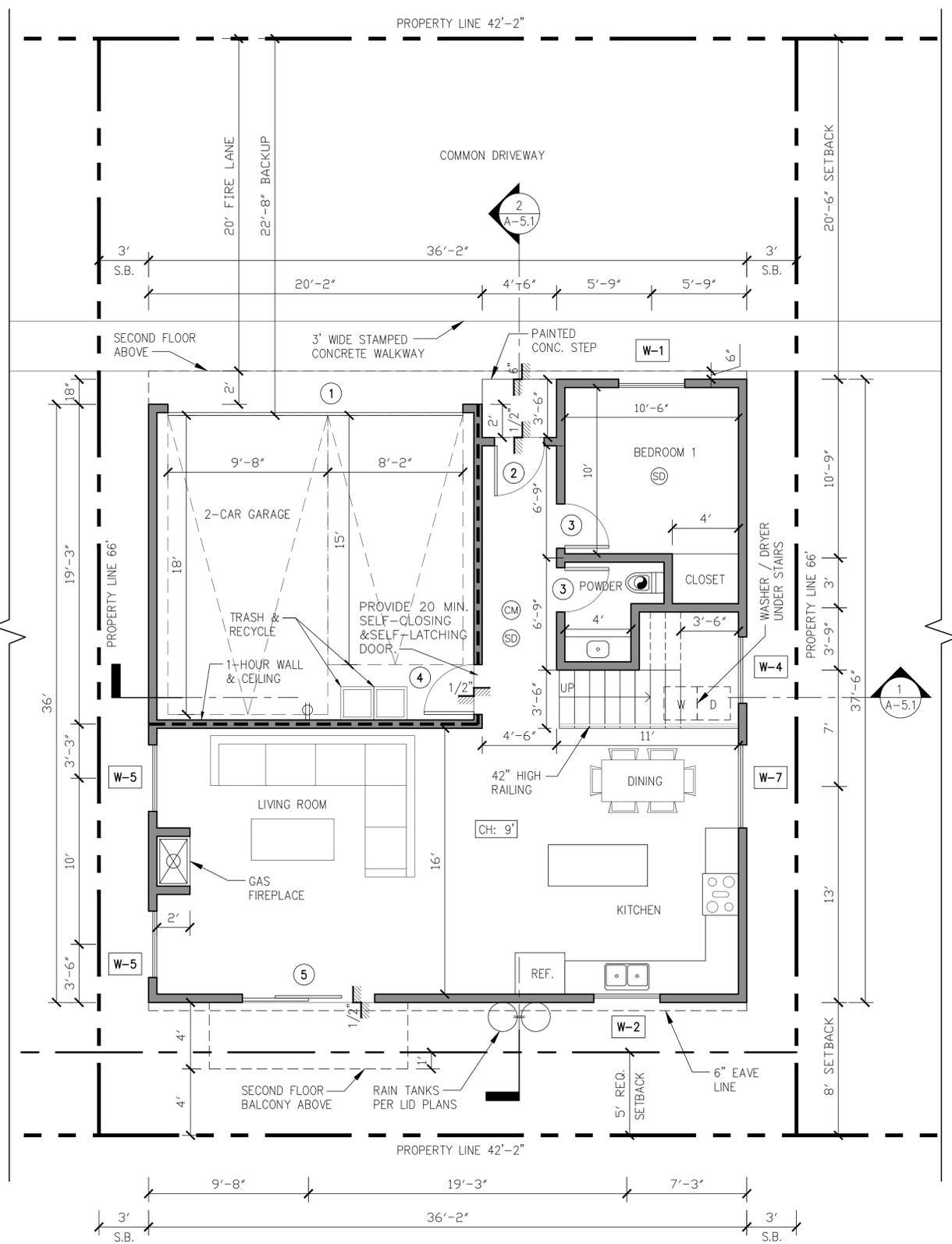
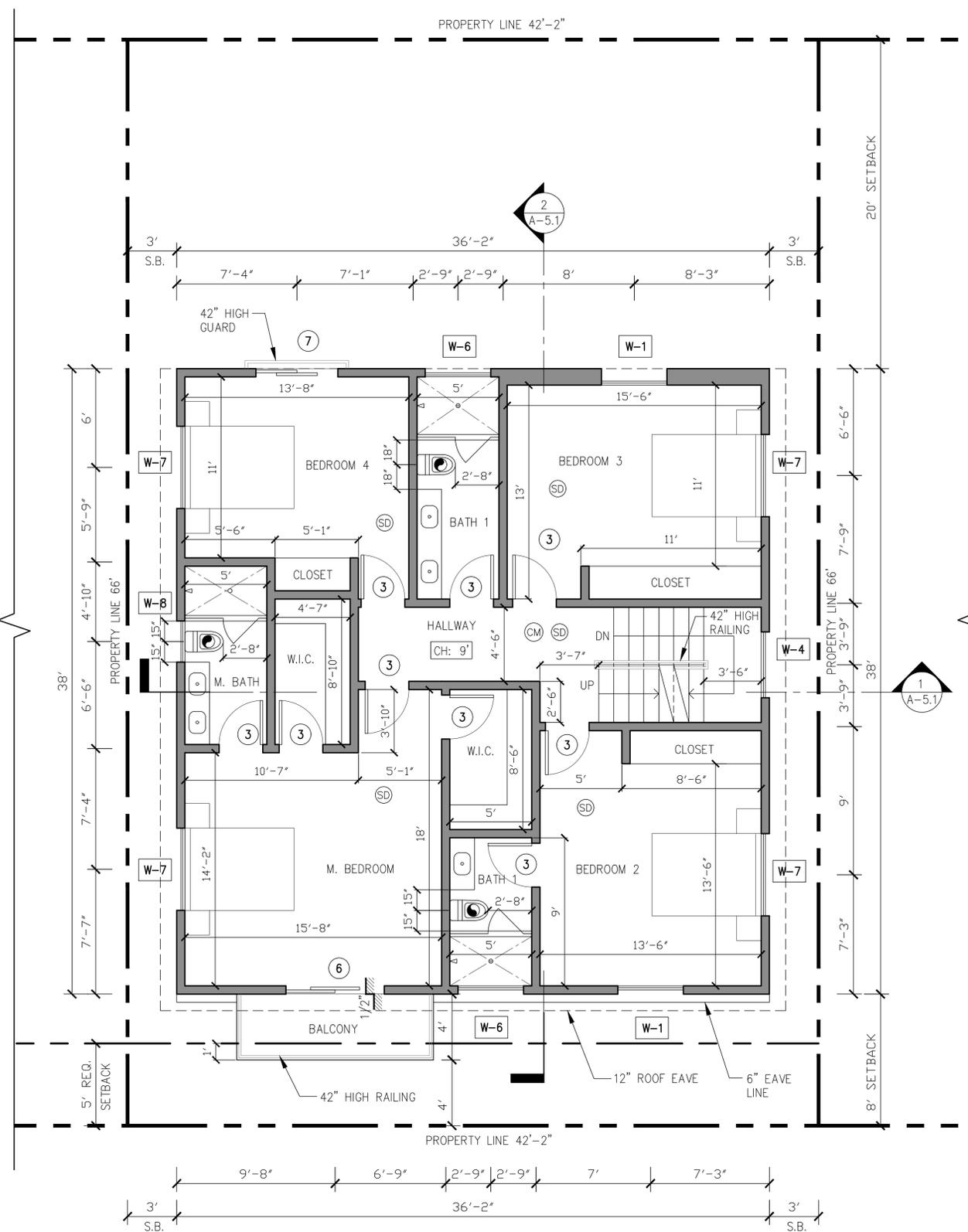

**NEW 7 SMALL LOT SUBDIVISION  
FOR  
9363 N. BURNET AVE.  
9363 N. BURNET AVE. NORTH HILLS, CA 91343**

Drawing Content :  
**PROPOSED  
UNITS 2  
FIRST & SECOND  
FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-3.1



**SYMBOLS LEGEND:**

● CEILING EXHAUST FAN FIXTURE  
(FIVE AIR CHANGES PER HOUR, 50 CFM)

NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:

i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

**PROPOSED UNITS 2  
SECOND FLOOR PLAN** 1/4" = 1'-0"

ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

Ⓞ CARBON MONOXIDE DETECTOR  
Ⓢ SMOKE DETECTOR



**NOTE:**

- BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
- CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
- THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

**PROPOSED UNITS 2  
FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

- ▬ STUD WALLS
- ▬ 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- ⊠ FIRE PLACE: MFR. MONTIGO GAS ONLY DIRECT



⌀ ELECTRIC CAR CHARGING STATION MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT SEE NOTE #1 GRN FORM 14

Ⓢ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE  
W-# WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

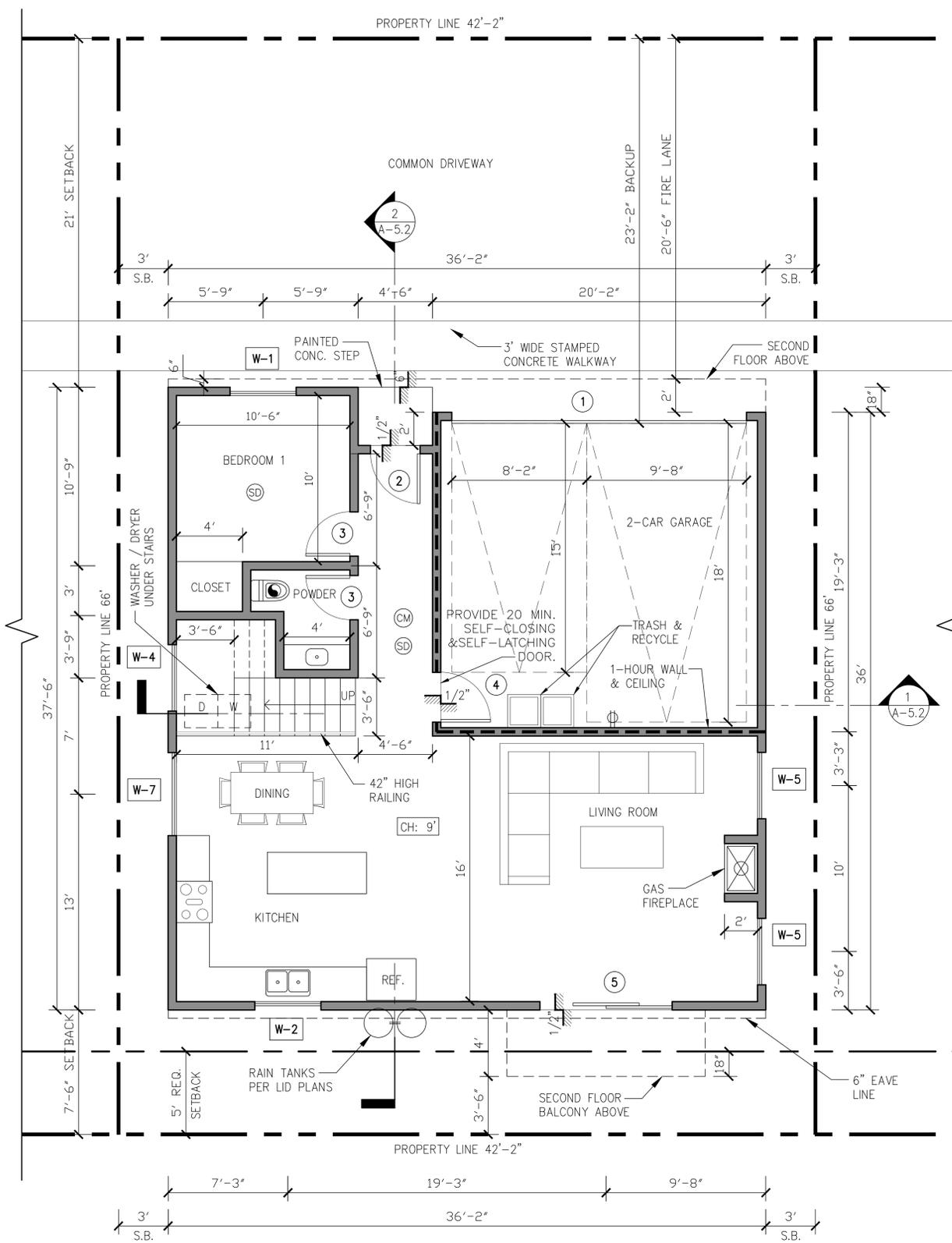
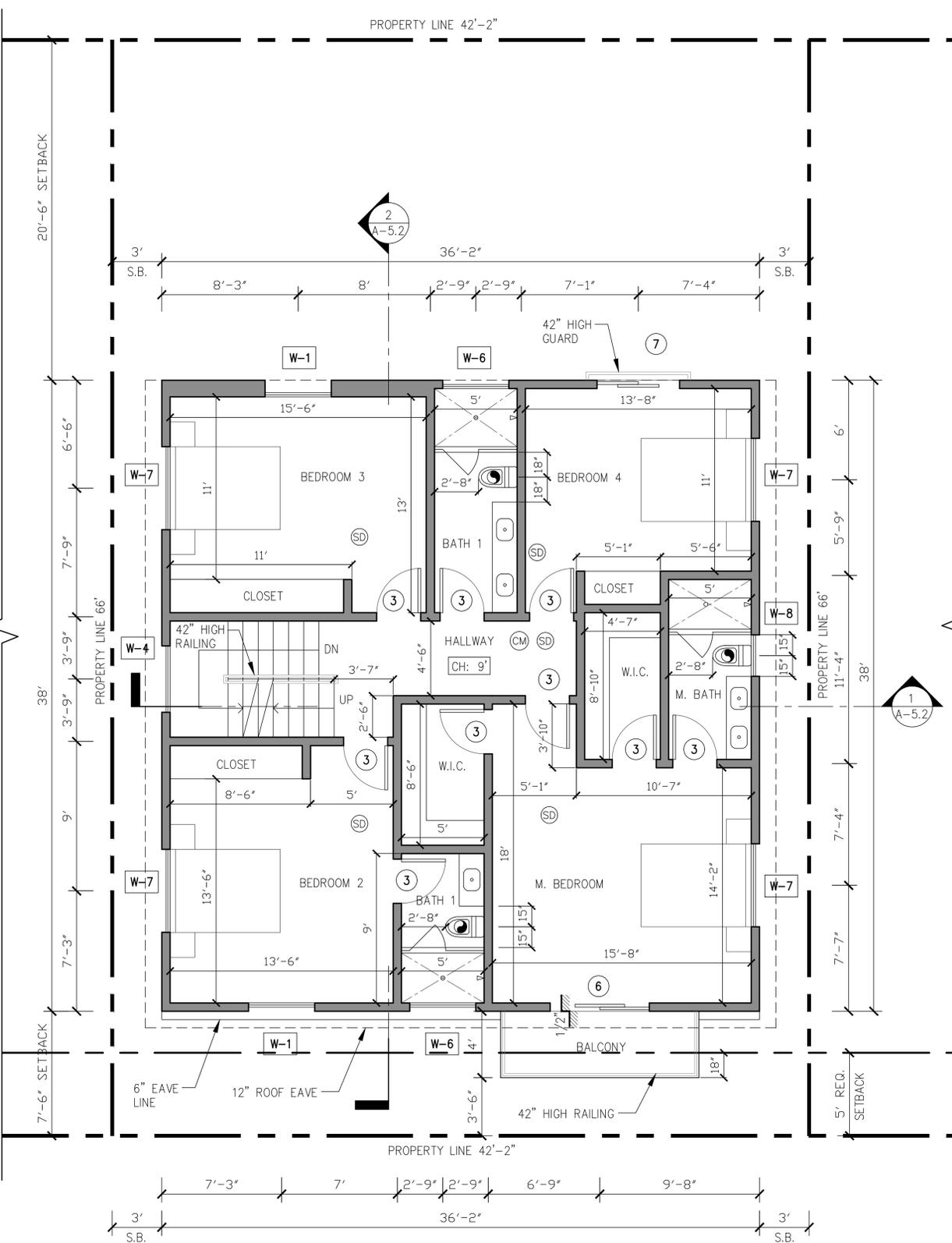

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**PROPOSED  
UNITS 3  
FIRST & SECOND  
FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

A-3.2

AUGUST 23, 2021



**SYMBOLS LEGEND:**

- CEILING EXHAUST FAN FIXTURE (FIVE AIR CHANGES PER HOUR, 50 CFM)
- NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

**PROPOSED UNITS 3  
SECOND FLOOR PLAN** 1/4" = 1'-0"

- ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- Ⓞ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR

**NOTE:**

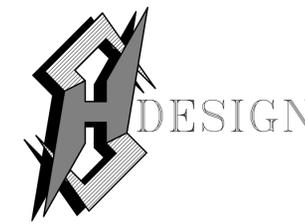
1. BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
4. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
5. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

**PROPOSED UNITS 3  
FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

- ▬ STUD WALLS
- ▬ 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- ⊠ FIRE PLACE: MFR. MONTIGO GAS ONLY DIRECT

- ⊕ ELECTRIC CAR CHARGING STATION MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT SEE NOTE #1 GRN FORM 14
- Ⓢ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE
- W-# WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE



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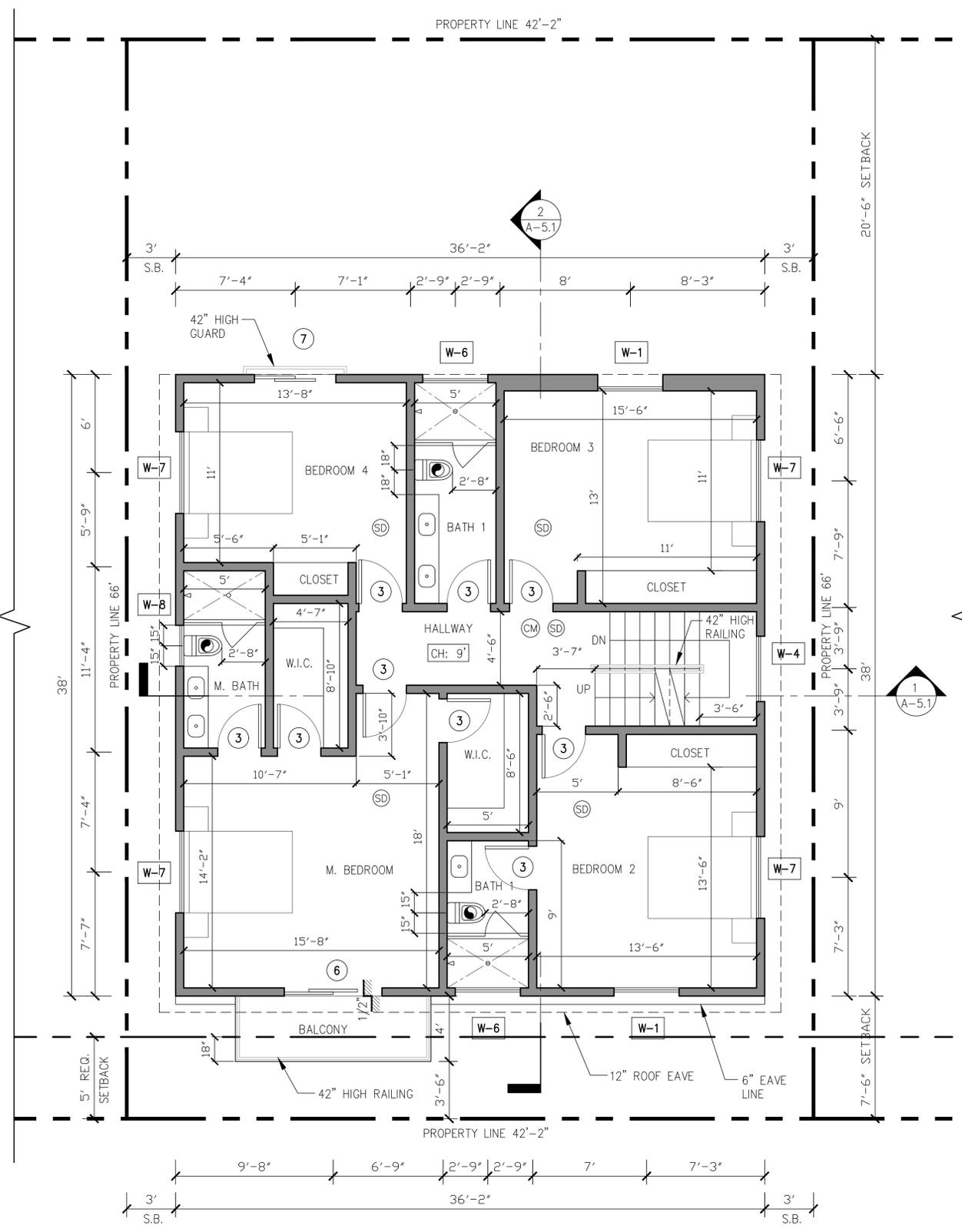
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content:  
**PROPOSED  
UNITS 4  
FIRST & SECOND  
FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

**A-3.3**

AUGUST 23, 2021



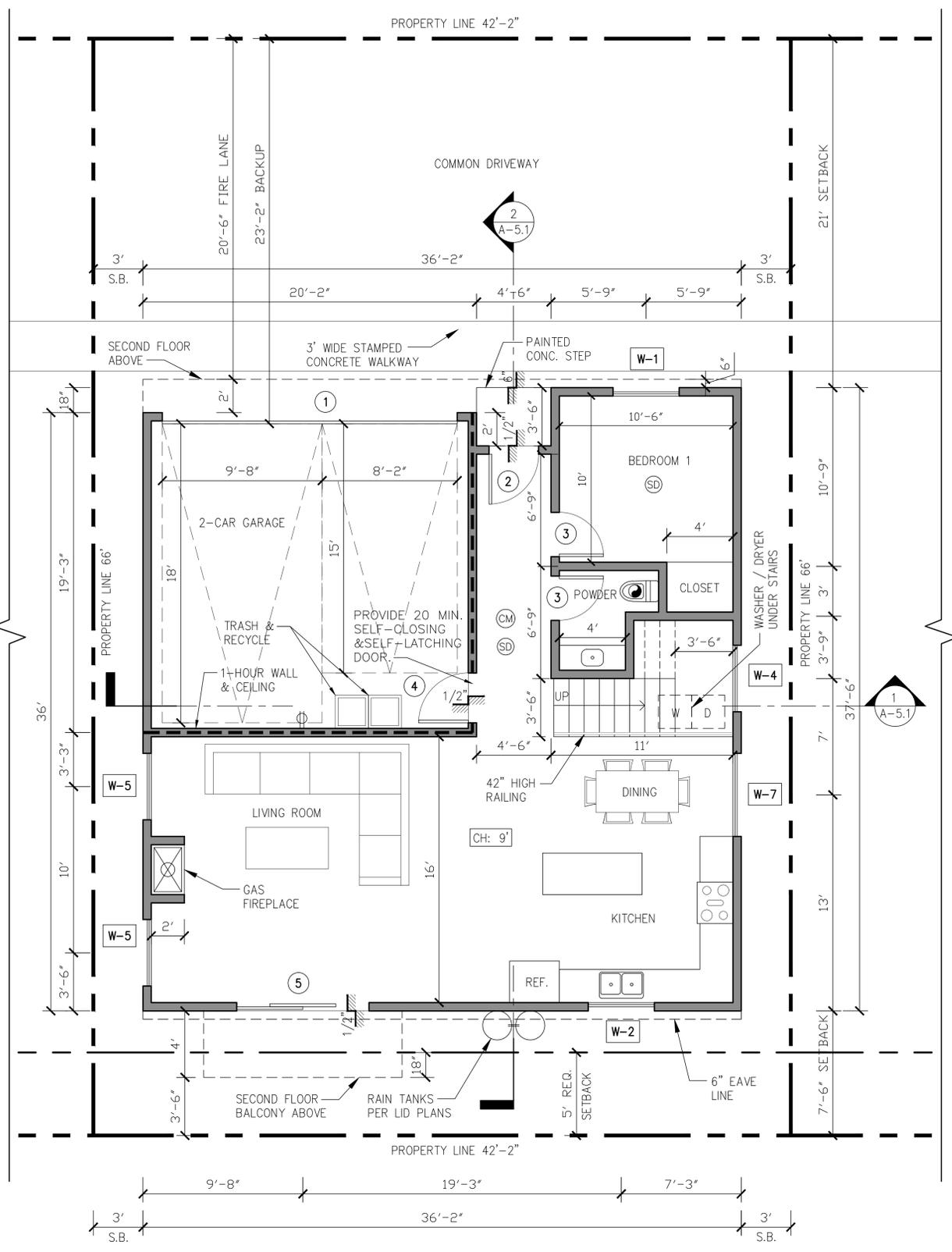
**PROPOSED UNITS 4  
SECOND FLOOR PLAN** 1/4" = 1'-0"

**SYMBOLS LEGEND:**

- CEILING EXHAUST FAN FIXTURE (FIVE AIR CHANGES PER HOUR, 50 CFM)
- NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
  - ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- Ⓜ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR

**NOTE:**

1. BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
4. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
5. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).



**PROPOSED UNITS 4  
FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

- ▬ STUD WALLS
- ▬ 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- ⊠ FIRE PLACE: MFR. MONTIGO GAS ONLY DIRECT

- ⊕ ELECTRIC CAR CHARGING STATION MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT SEE NOTE #1 GRN FORM 14
- Ⓜ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE
- Ⓢ WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

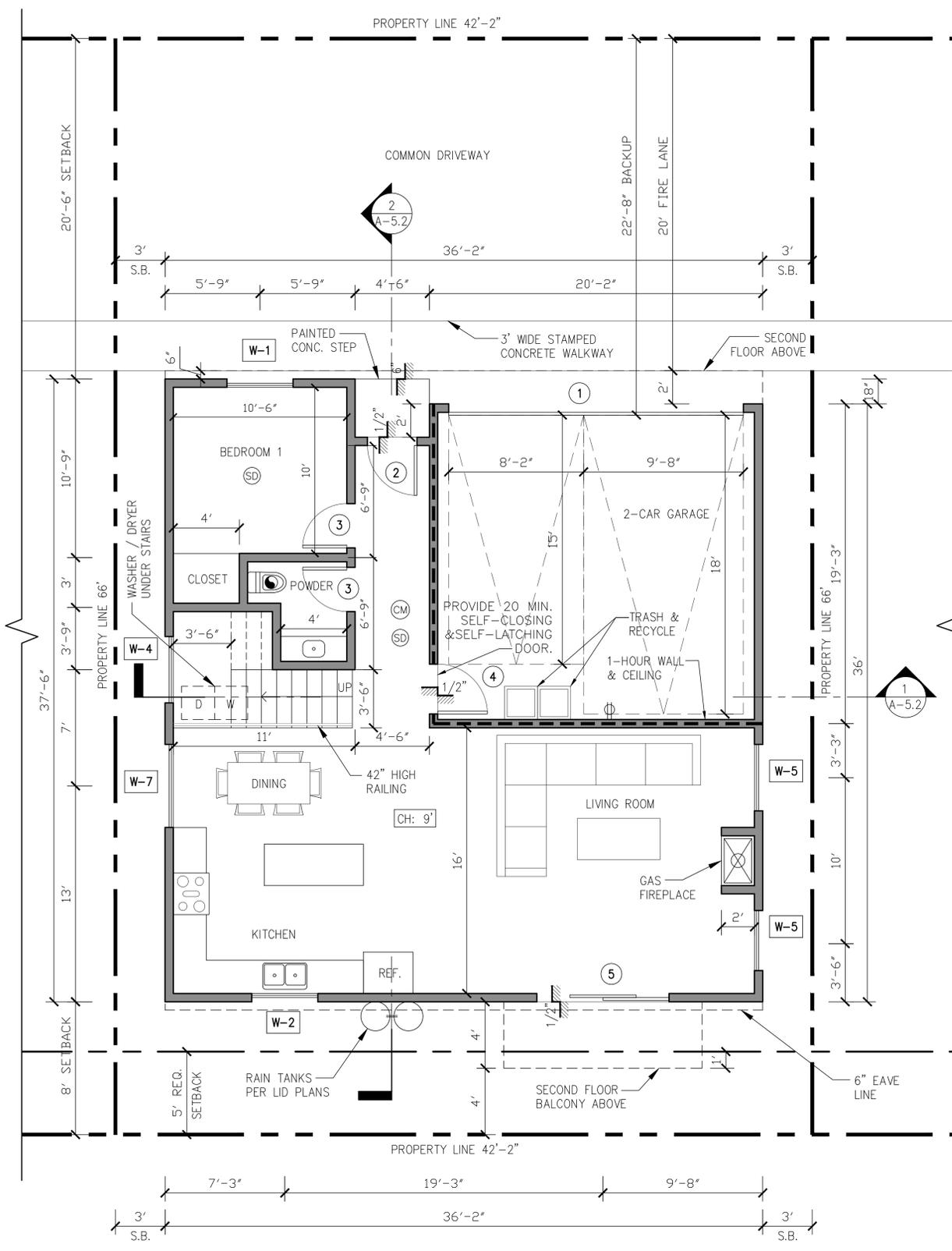
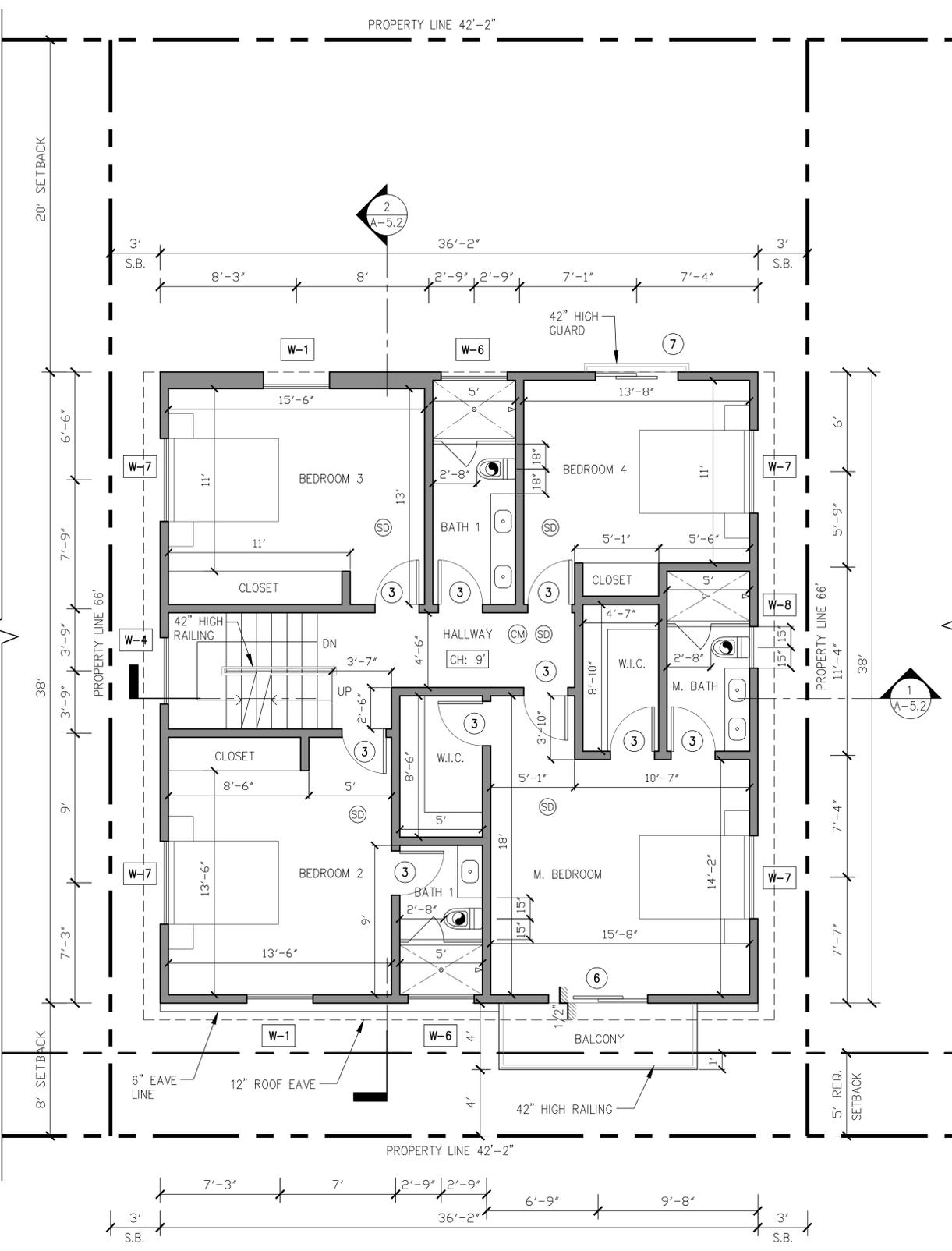

**NEW 7 SMALL LOT SUBDIVISION FOR**  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**PROPOSED UNITS 5**  
**FIRST & SECOND FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-3.4



**SYMBOLS LEGEND:**

- CEILING EXHAUST FAN FIXTURE (FIVE AIR CHANGES PER HOUR, 50 CFM)
- NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

**PROPOSED UNITS 5 SECOND FLOOR PLAN**  
 1/4" = 1'-0"

- ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- Ⓞ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR

**NOTE:**

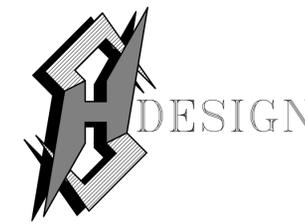
1. BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
4. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
5. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

**PROPOSED UNITS 5 FIRST FLOOR PLAN**  
 1/4" = 1'-0"

**LEGEND:**

- STUD WALLS
- 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- FIRE PLACE: MFR. MONTIGO GAS ONLY DIRECT

- ⌀ ELECTRIC CAR CHARGING STATION MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT SEE NOTE #1 GRN FORM 14
- Ⓢ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE
- W-# WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE



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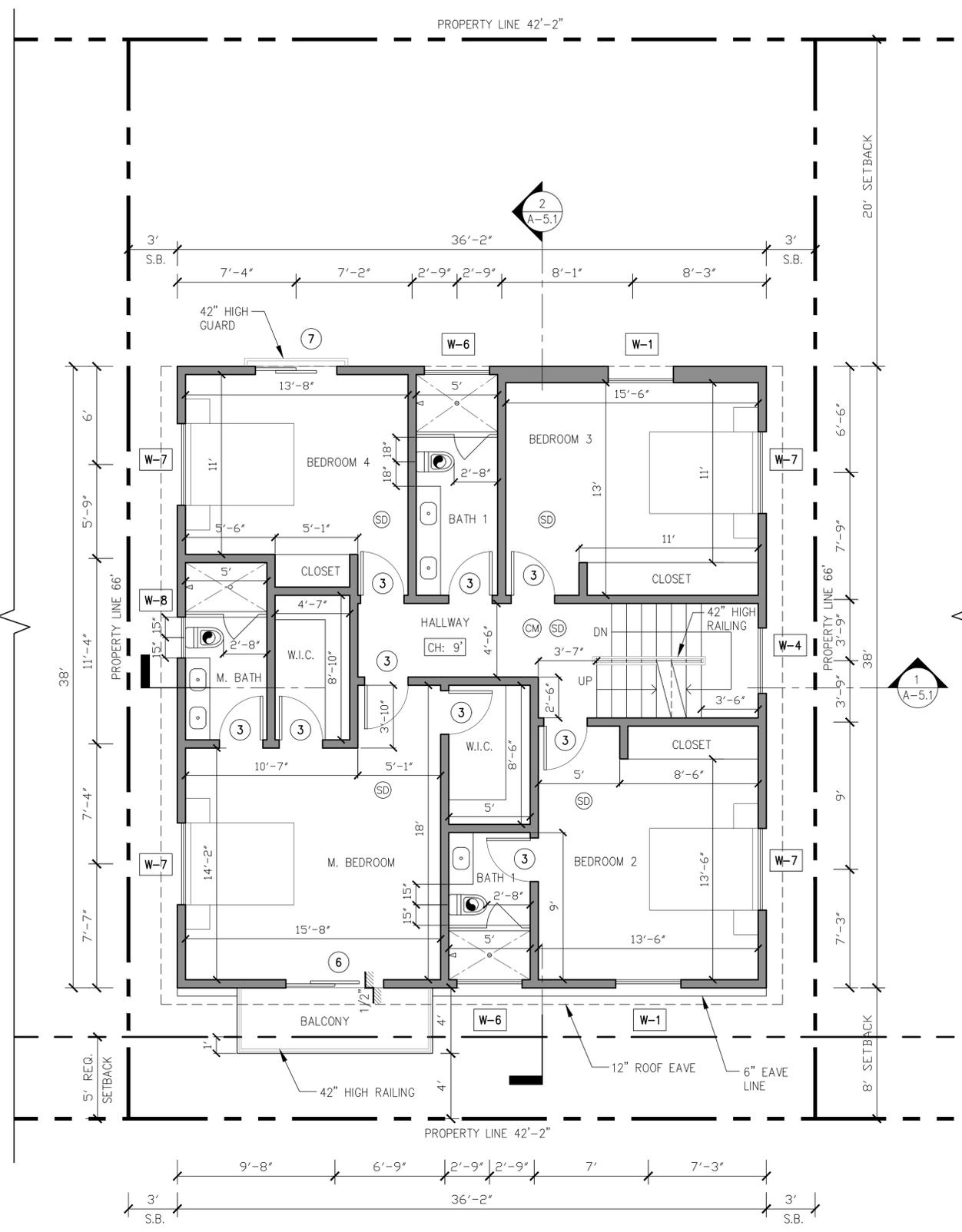
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content:  
**PROPOSED  
UNITS 6  
FIRST & SECOND  
FLOOR PLANS**

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-3.5



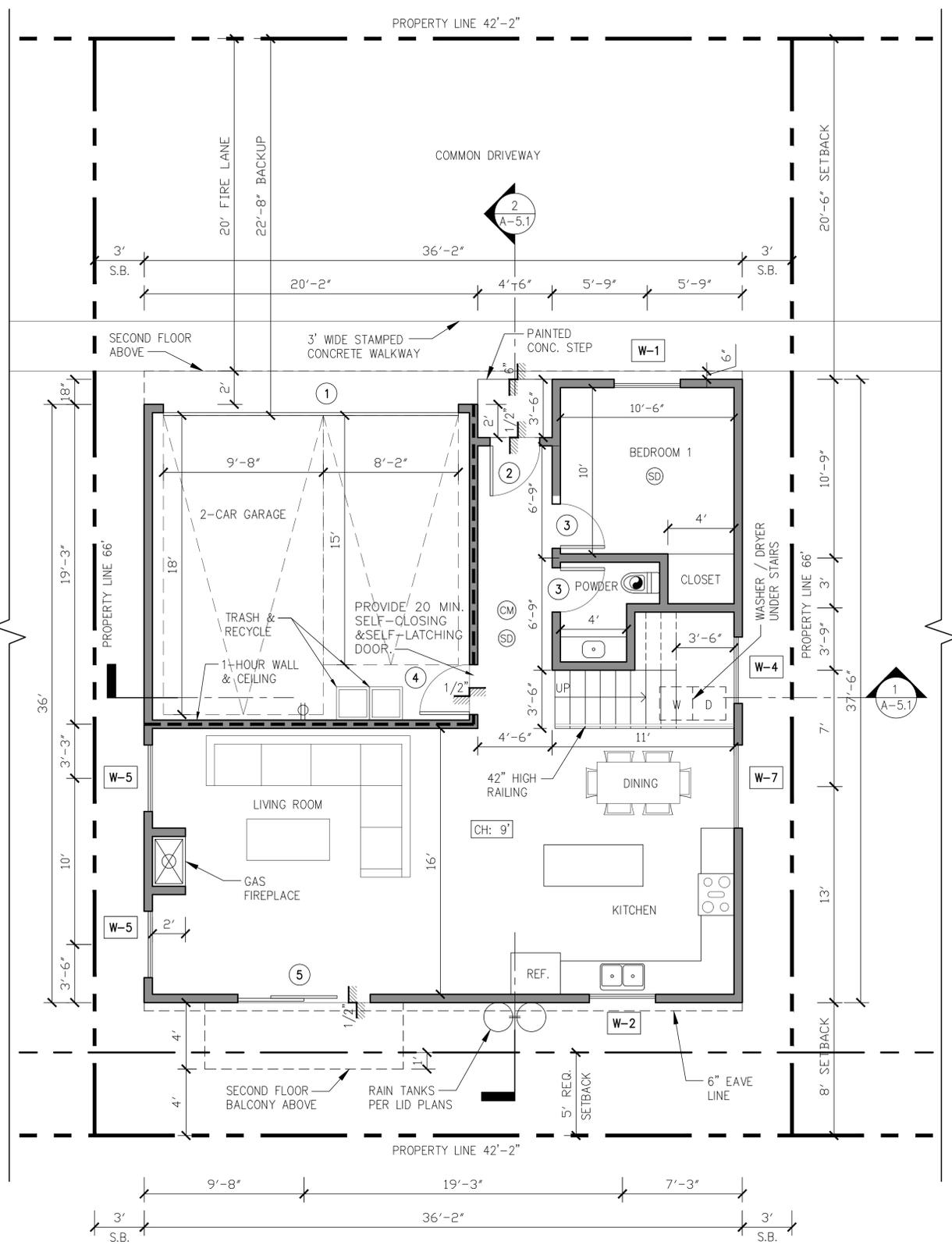
**PROPOSED UNITS 6  
SECOND FLOOR PLAN** 1/4" = 1'-0"

**SYMBOLS LEGEND:**

- CEILING EXHAUST FAN FIXTURE (FIVE AIR CHANGES PER HOUR, 50 CFM)
- NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:
  - i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
  - ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- Ⓜ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR

**NOTE:**

1. BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
3. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
4. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
5. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).



**PROPOSED UNITS 6  
FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

- ▬ STUD WALLS
- ▬ 1HR. FIRE SEPARATION WALL (STC 50) SEE DETAIL 6/AD-2
- ⊠ FIRE PLACE: MFR. MONTIGO GAS ONLY DIRECT
- ⊕
- W-#

- ⊕ ELECTRIC CAR CHARGING STATION MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT SEE NOTE #1 GRN FORM 14
- ⊕ DOORS (NUMBERS) SEE SHEET A-7.0 FOR DOOR SCHEDULE
- W-# WINDOWS (NUMBERS) SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_


NEW 7 SMALL LOT SUBDIVISION  
FOR

9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

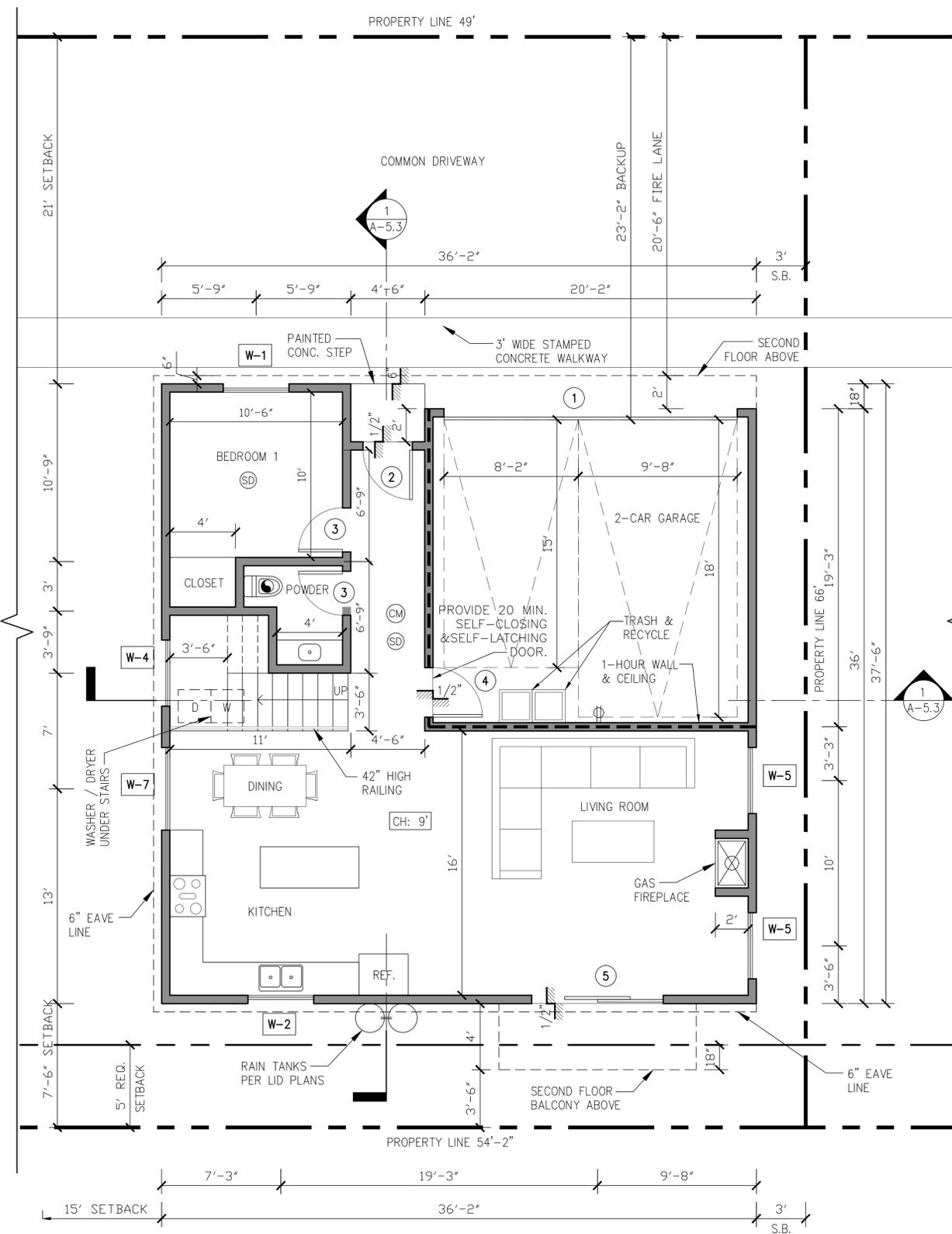
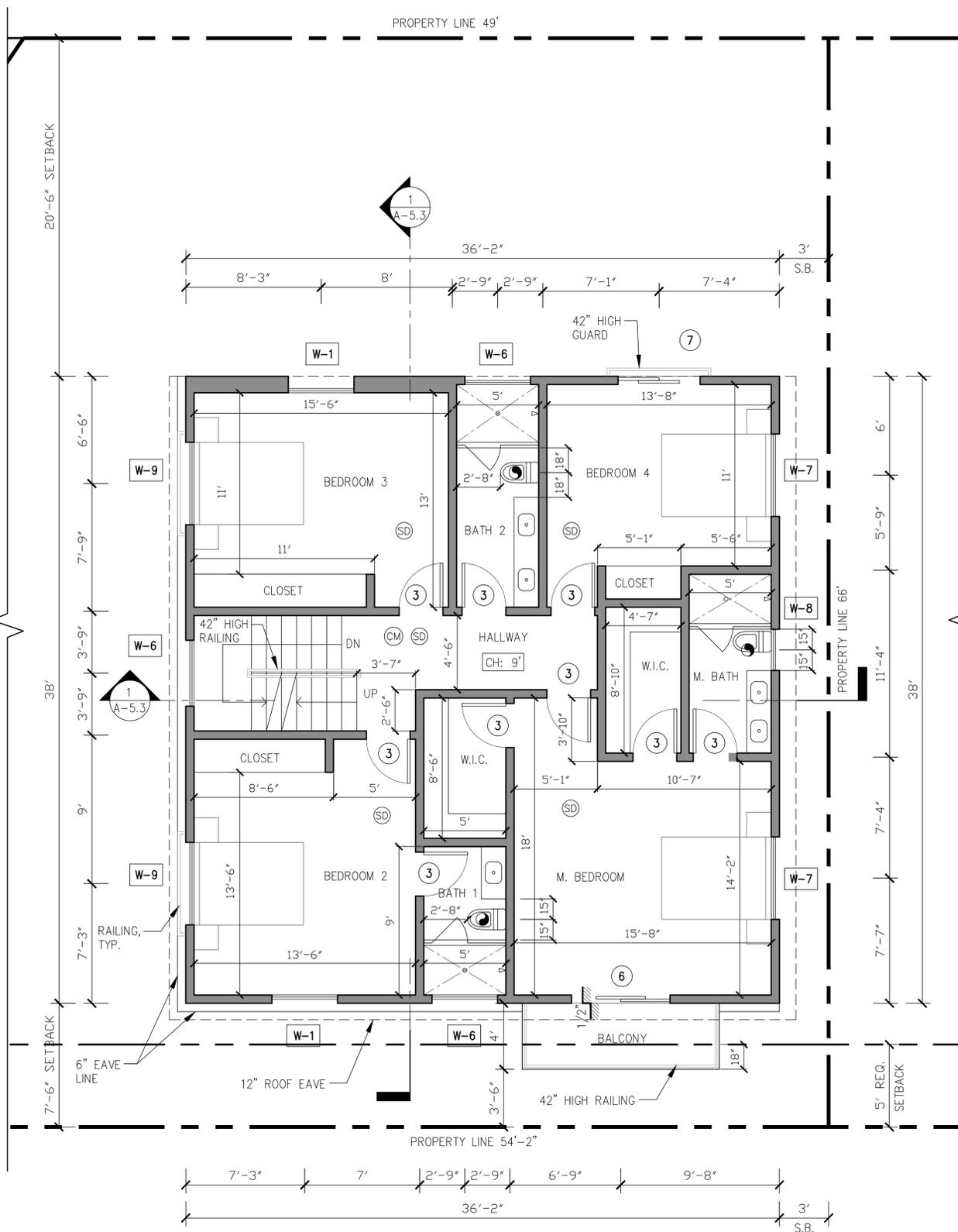
Drawing Content:

PROPOSED  
UNIT 7  
FIRST & SECOND  
FLOOR PLANS

Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-3.6



**SYMBOLS LEGEND:**

● CEILING EXHAUST FAN FIXTURE  
(FIVE AIR CHANGES PER HOUR, 50 CFM)

NEWLY INSTALLED EXHAUST FANS FOR BATHROOMS CONTAINING BATHTUBS, SHOWERS, OR TUB/SHOWER COMBINATIONS. PLANS SHALL STATE THAT THE BATHROOM EXHAUST FANS COMPLY WITH THE FOLLOWING:

i. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

**PROPOSED UNIT 7  
SECOND FLOOR PLAN** 1/4" = 1'-0"

ii. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

Ⓞ CARBON MONOXIDE DETECTOR  
Ⓢ SMOKE DETECTOR

**NOTE:**

- BUILDING TO HAVE NFPA 13R FIRE SPRINKLER SYSTEM.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC).
- CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.6, R315).
- THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).

**PROPOSED UNIT 7  
FIRST FLOOR PLAN** 1/4" = 1'-0"

**LEGEND:**

▬ STUD WALLS  
▬ 1HR. FIRE SEPARATION WALL (STC 50)  
SEE DETAIL 6/AD-2  
⊠ FIRE PLACE: MFR. MONTIGO  
GAS ONLY DIRECT

⌀ ELECTRIC CAR CHARGING STATION  
MINIMUM 1" (INSIDE DIAMETER)  
LISTED RACEWAY IS INSTALLED FOR  
EACH UNIT TO ACCOMMODATE A  
DEDICATED 208/240 VOLT BRANCH  
CIRCUIT SEE NOTE #1 GRN FORM 14

Ⓢ DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE  
W-# WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

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NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

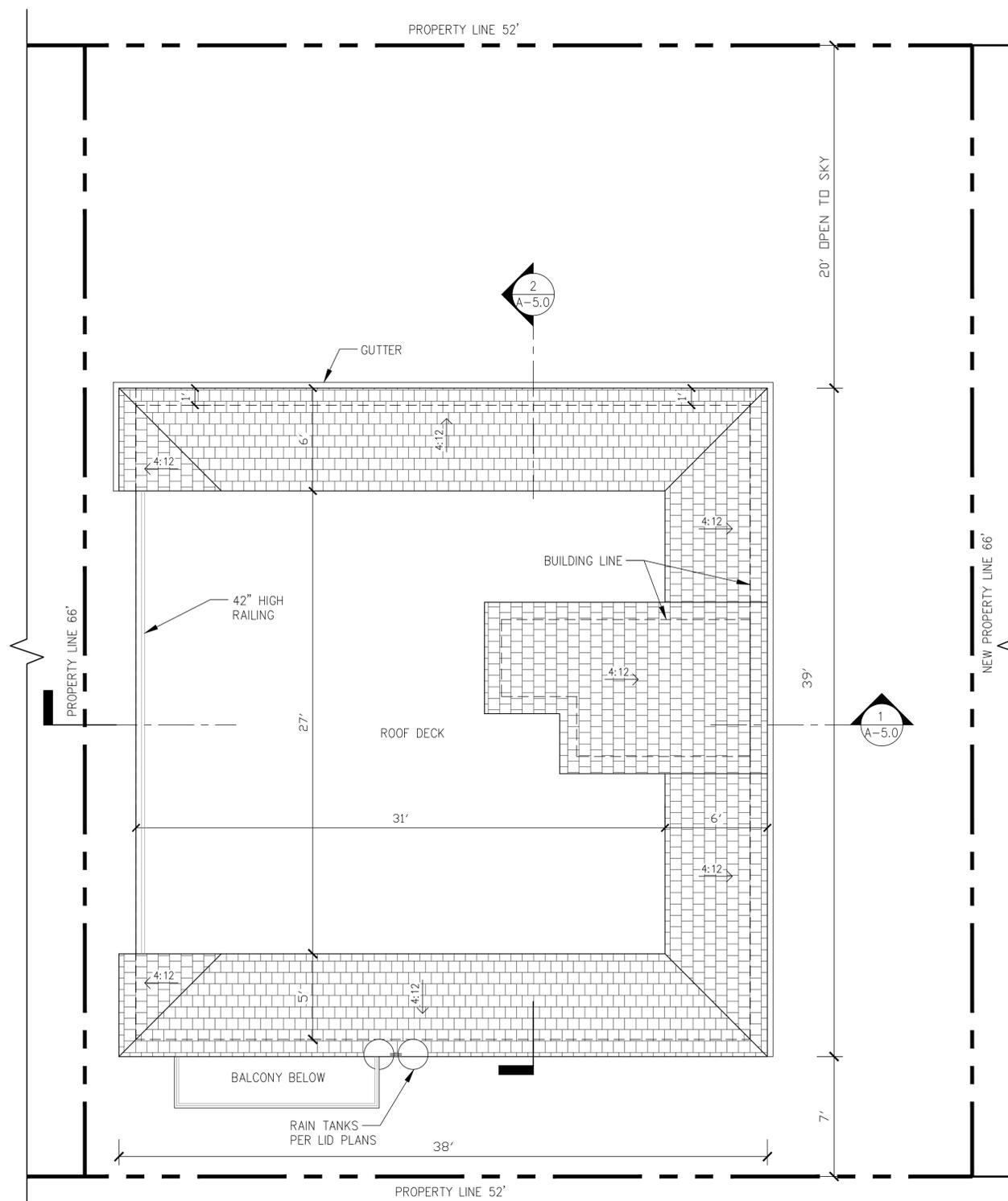
Drawing Content:

PROPOSED  
UNIT 1  
ROOF PLAN

Designer: HS  
Manager:  
Start Date: 01/25/21  
Job No: 21-044  
Scale:  
Drawing No:

AUGUST 23, 2021

A-4.0



PROPOSED UNIT 1  
UPPER ROOF PLAN  
1/4" = 1'-0"

**ROOFING NOTES:**

- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3090 RUNNING THE FULL LENGTH OF THE VALLEY. (704A.1.3)
- ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (704A.1.5)
- ATTIC VENTILLATION / EAVES
- EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
  - NONCOMBUSTIBLE CONSTRUCTION OR
  - PROTECT BY IGNITION-RESISTANT MATERIALS OR
  - MEET SFM 12-7A-3.

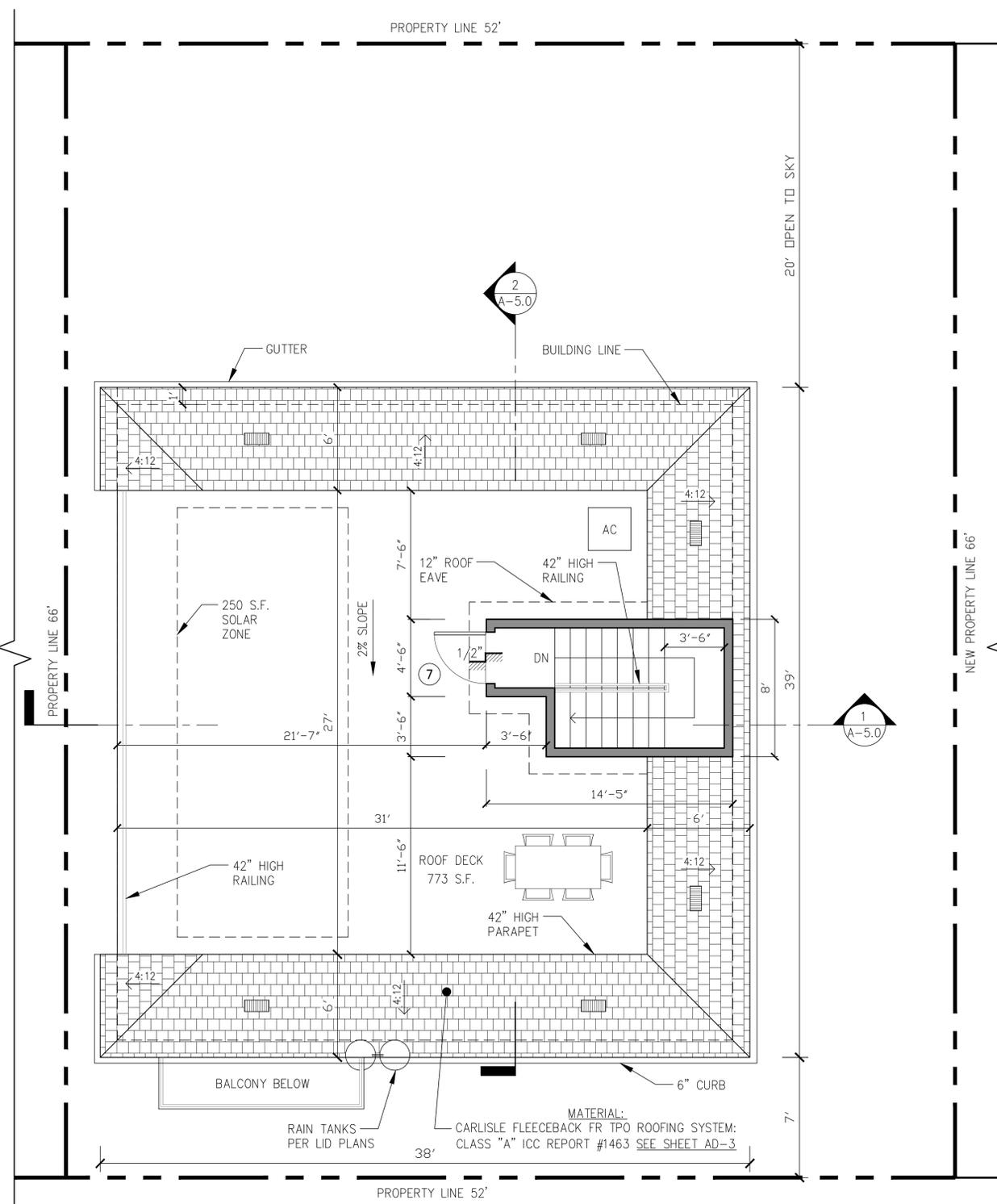
- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC".

**ATTIC VENTILATION NOTES**

**CALCULATION FOR MAIN HOUSE:**  
SFD ATTIC AREA = ±236 S.F. / 150 = 1.57 VENTS REQUIRED  
SFD ATTIC VENTS PROVIDED = 3 ROOF VENTS (8"x18")

\* REQUIRED VENTILATION = 1 SQ.FT. OF OPENING FOR EACH 150 SQ.FT. OF ATTIC AREA.

■ PROVIDE 22 GA GALVANIZED CLOAK VENT TILE 'XL' TYPE ONLY - HAGN MODEL "FLAT" #50043 OR EQ PROVIDING 95 SQ INCH NET FREE VENT AREA, ICBO No. 5214. ALL VENTS SHALL BE STAMPED WITH AN IDENTIFYING MARK "XL". VENTS SHALL BE 22 GA STL. METAL AND 20 GA FOR THE RISERS AND TENSION TIES. PROVIDE 1 SF VENT AREA PER 150 SQ FEET OF ATTIC AREA



PROPOSED UNIT 1  
ROOF PLAN  
1/4" = 1'-0"

**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions :	Date :
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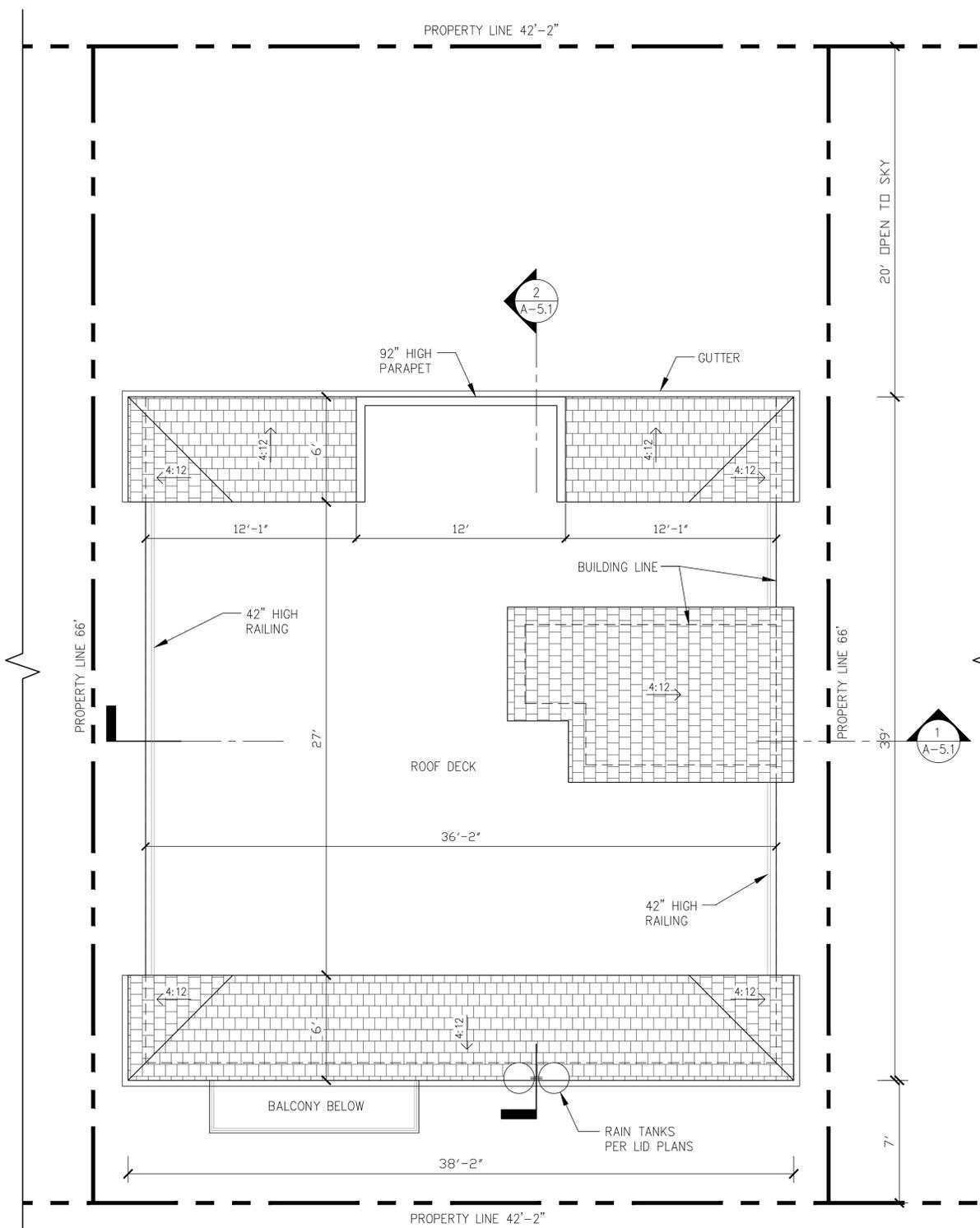
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
PROPOSED  
UNIT 2  
ROOF PLAN

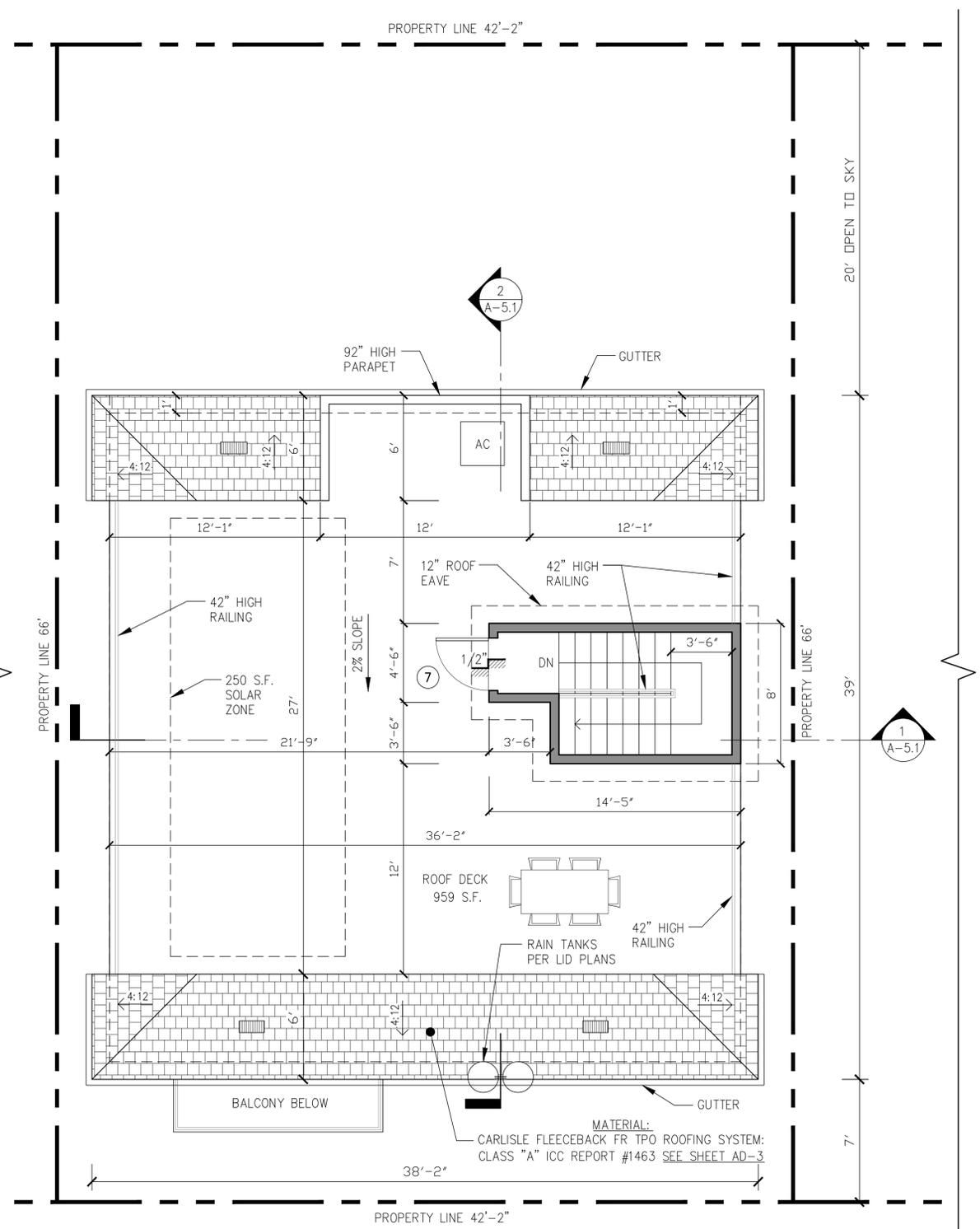
Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-4.1



**PROPOSED UNITS 2  
UPPER ROOF PLAN**  
1/4" = 1'-0"



**PROPOSED UNITS 2  
ROOF PLAN**  
1/4" = 1'-0"

**ROOFING NOTES:**

- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3090 RUNNING THE FULL LENGTH OF THE VALLEY. (704A.1.3)
- ROOF GUTTERS SHALL BE DESIGN TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS. (704A.1.5)
- ATTIC VENTILATION / EAVES
  - EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
    - NONCOMBUSTIBLE CONSTRUCTION OR
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- THE MAIN SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMPS.
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**ATTIC VENTILATION NOTES**

**CALCULATION FOR MAIN HOUSE:**  
SFD ATTIC AREA = ±236 S.F. / 150 = 1.57 VENTS REQUIRED  
SFD ATTIC VENTS PROVIDED = 3 ROOF VENTS (8"x18")

\* REQUIRED VENTILATION = 1 SQ.FT. OF OPENING FOR EACH 150 SQ.FT. OF ATTIC AREA.

■ PROVIDE 22 GA GALVANIZED CLOAK VENT TILE 'XL' TYPE ONLY - HAGIN MODEL "FLAT" #50043 OR EQ PROVIDING 95 SQ INCH NET FREE VENT AREA, ICBO No. 5214. ALL VENTS SHALL BE STAMPED WITH AN IDENTIFYING MARK "XL". VENTS SHALL BE 22 GA STL. METAL AND 20 GA FOR THE RISERS AND TENSION TIES. PROVIDE 1 SF VENT AREA PER 150 SQ FEET OF ATTIC AREA

**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions :	Date :
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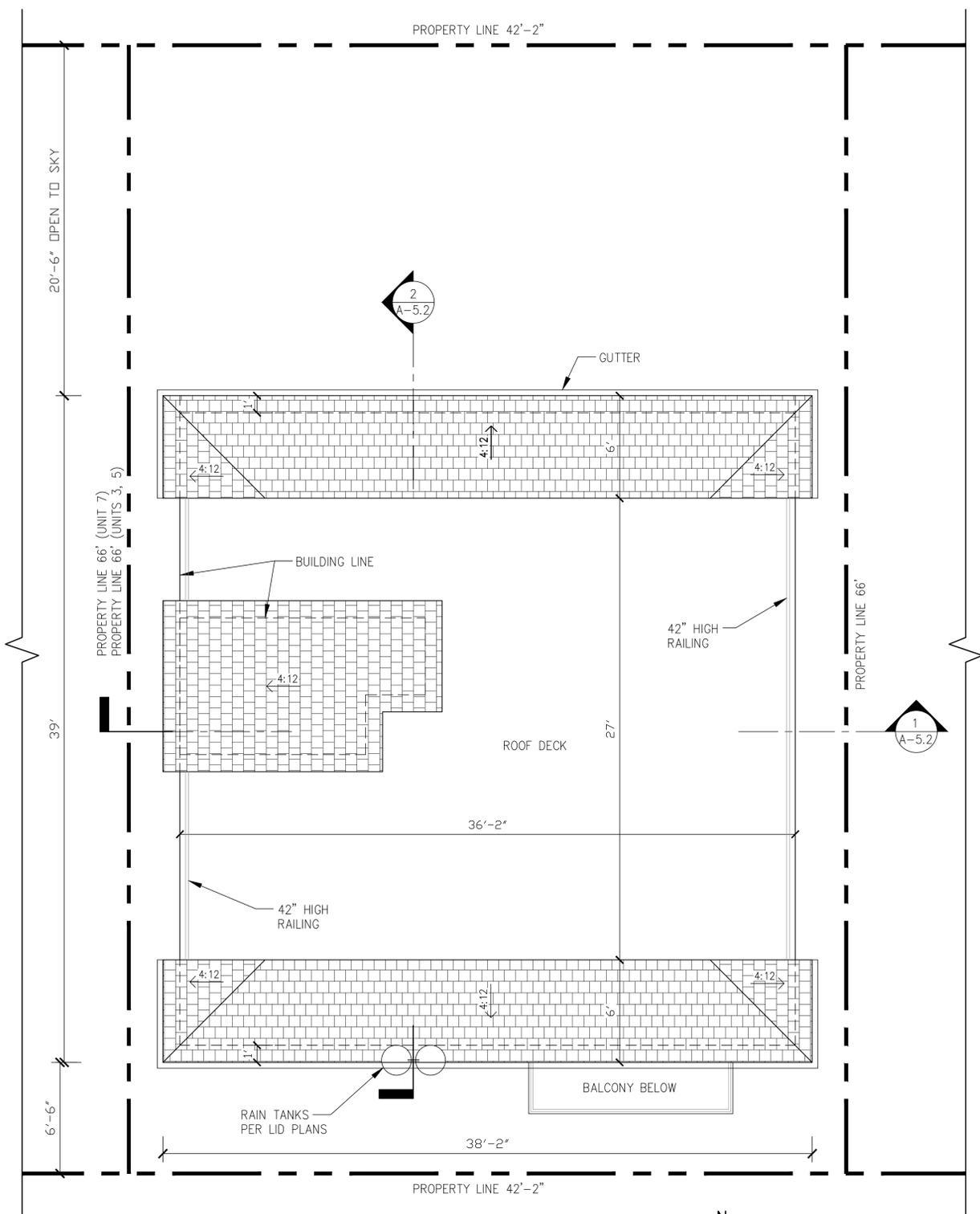
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
PROPOSED  
UNIT 3  
ROOF PLAN

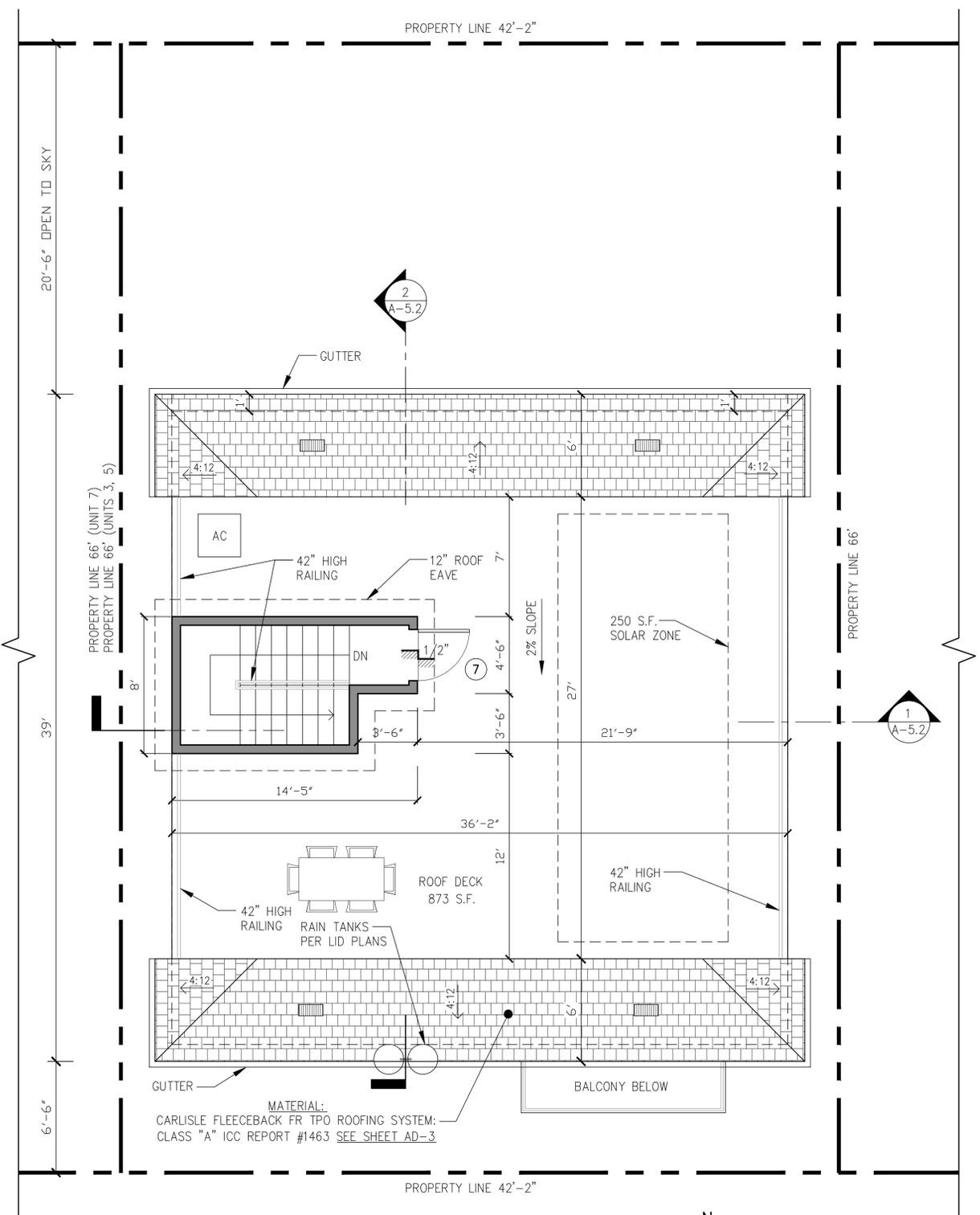
Designer :	HS
Manager :	
Start Date :	01/25/21
Job No. :	21-044
Scale :	
Drawing No. :	

AUGUST 23, 2021

A-4.2



**PROPOSED UNITS 3  
UPPER ROOF PLAN**  
1/4" = 1'-0"



**PROPOSED UNITS 3  
ROOF PLAN**  
1/4" = 1'-0"

**ROOFING NOTES:**

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- ATTIC VENTILATION / EAVES
- EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
  - NONCOMBUSTIBLE CONSTRUCTION OR
  - PROTECT BY IGNITION-RESISTANT MATERIALS OR
  - MEET SFM 12-7A-3.

**ATTIC VENTILATION NOTES**

**CALCULATION FOR MAIN HOUSE:**  
SFD ATTIC AREA = ±236 S.F. / 150 = 1.57 VENTS REQUIRED  
SFD ATTIC VENTS PROVIDED = 3 ROOF VENTS (8"x18")

\* REQUIRED VENTILATION = 1 SQ.FT. OF OPENING FOR EACH 150 SQ.FT. OF ATTIC AREA.

PROVIDE 22 GA GALVANIZED CLOAK VENT TILE 'XL' TYPE ONLY - HAGIN MODEL 'FLAT' #50043 OR EQ PROVIDING 95 SQ INCH NET FREE VENT AREA, ICBO No. 5214. ALL VENTS SHALL BE STAMPED WITH AN IDENTIFYING MARK "XL". VENTS SHALL BE 22 GA STL. METAL AND 20 GA FOR THE RISERS AND TENSION TIES. PROVIDE 1 SF VENT AREA PER 150 SQ FEET OF ATTIC AREA

**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

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NEW 7 SMALL LOT SUBDIVISION  
FOR

9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

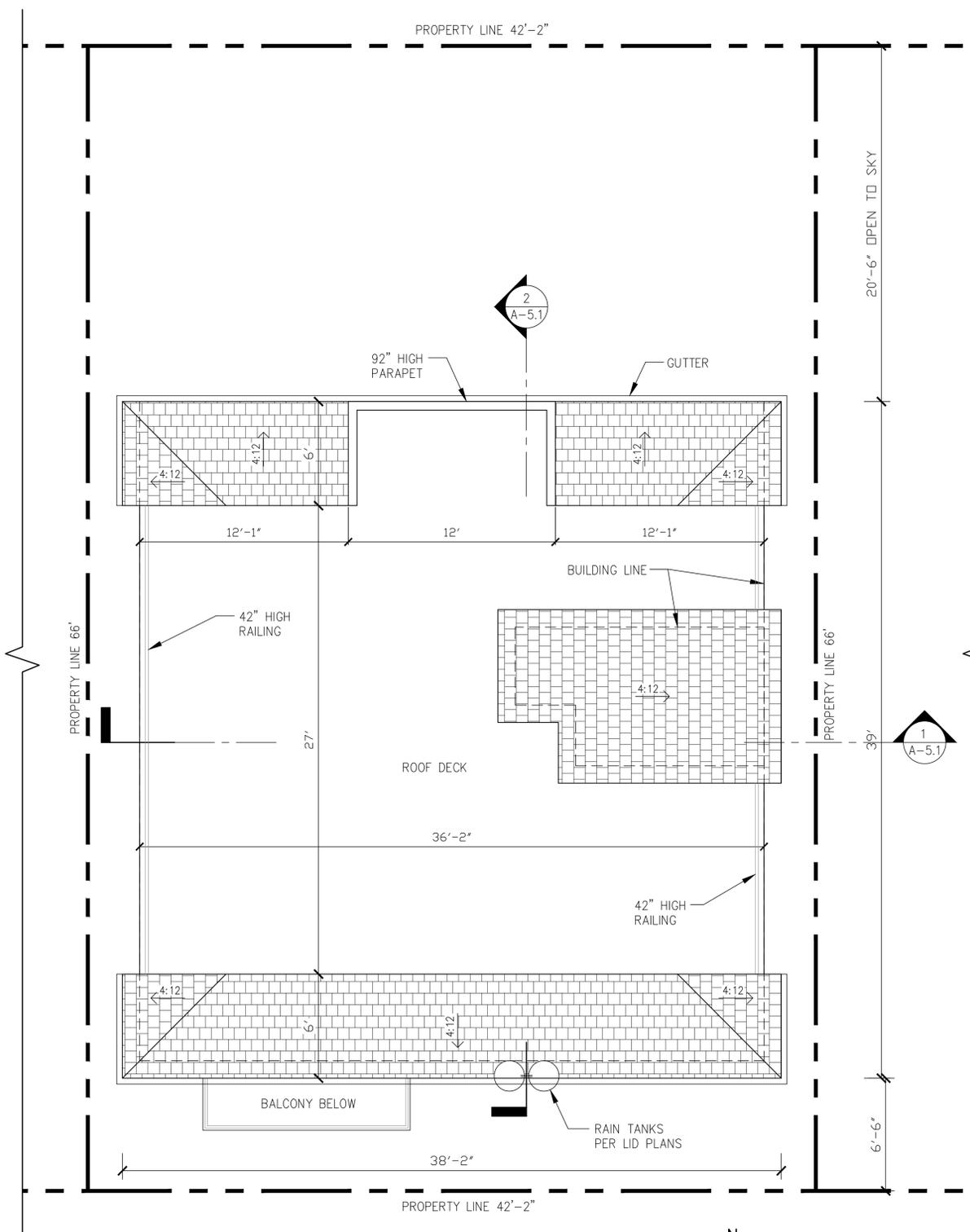
Drawing Content:

PROPOSED  
UNIT 4  
ROOF PLAN

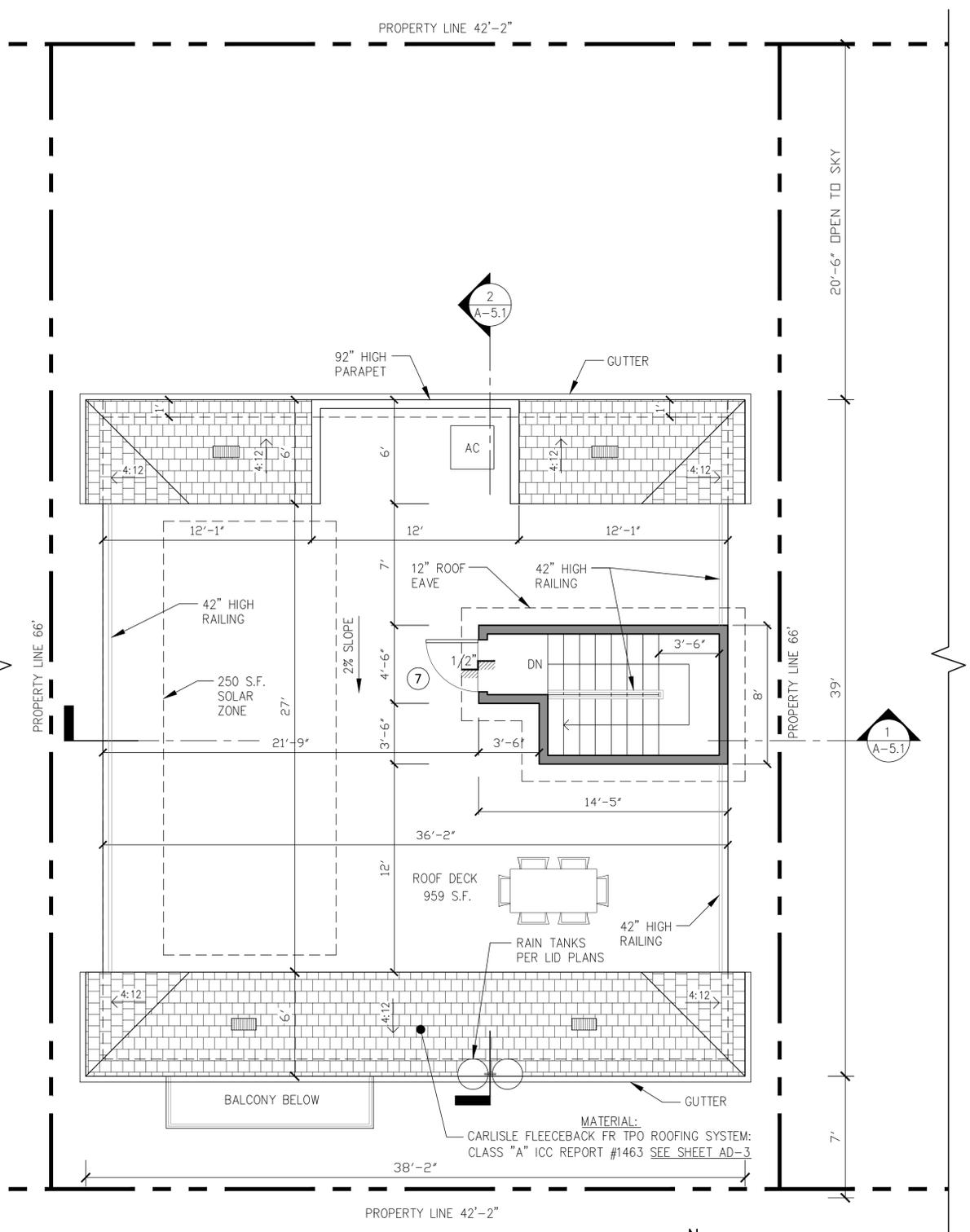
Designer :	HS
Manager :	
Start Date :	01/25/21
Job No :	21-044
Scale :	
Drawing No :	

AUGUST 23, 2021

A-4.3



PROPOSED UNITS 4  
UPPER ROOF PLAN  
1/4" = 1'-0"



PROPOSED UNITS 4  
ROOF PLAN  
1/4" = 1'-0"

**ROOFING NOTES:**

- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3090 RUNNING THE FULL LENGTH OF THE VALLEY. (704A.1.3)
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- EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
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  - MEET SFM 12-7A-3.

**ATTIC VENTILATION NOTES**

**CALCULATION FOR MAIN HOUSE:**  
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**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE

Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

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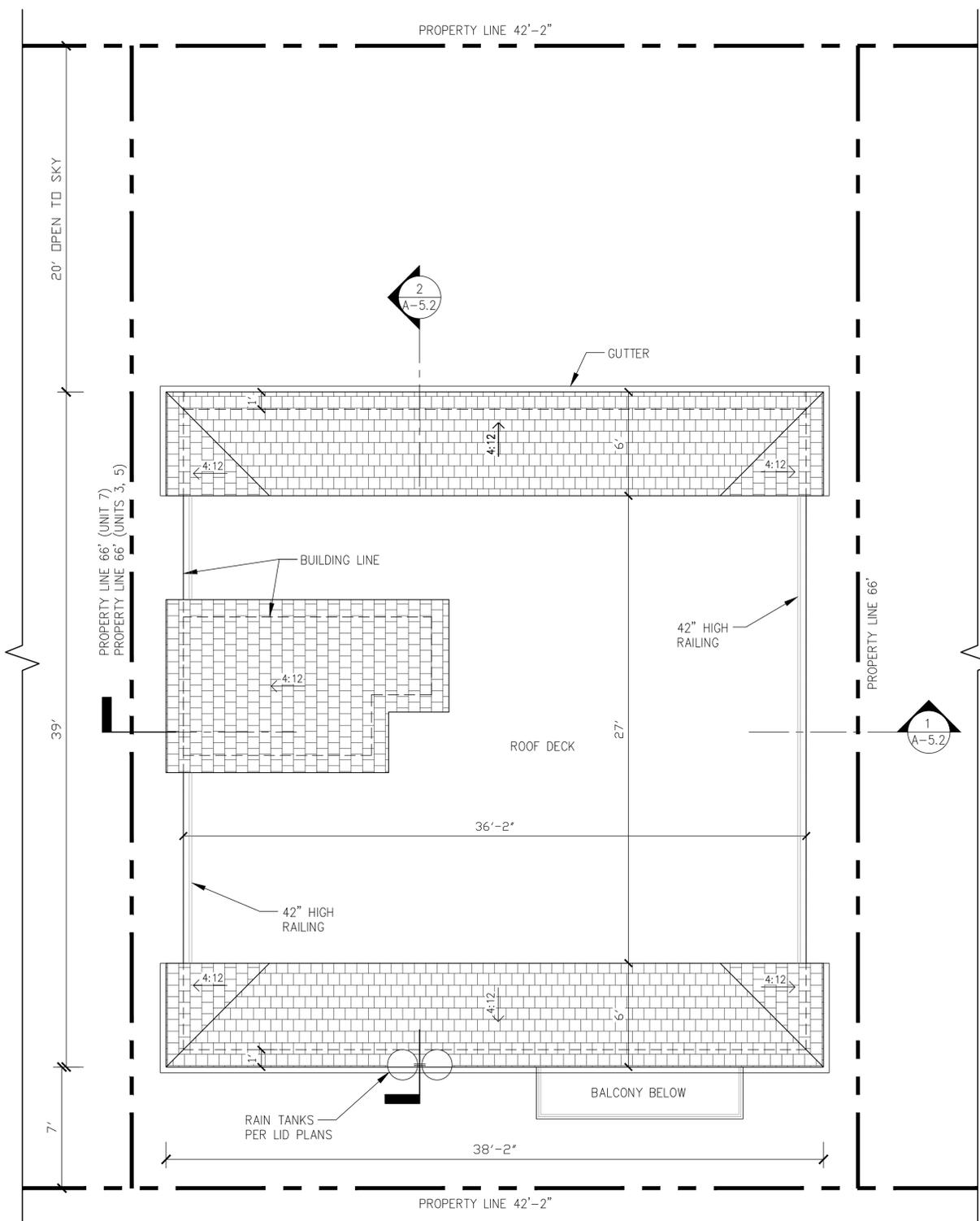
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
PROPOSED  
UNIT 5  
ROOF PLAN

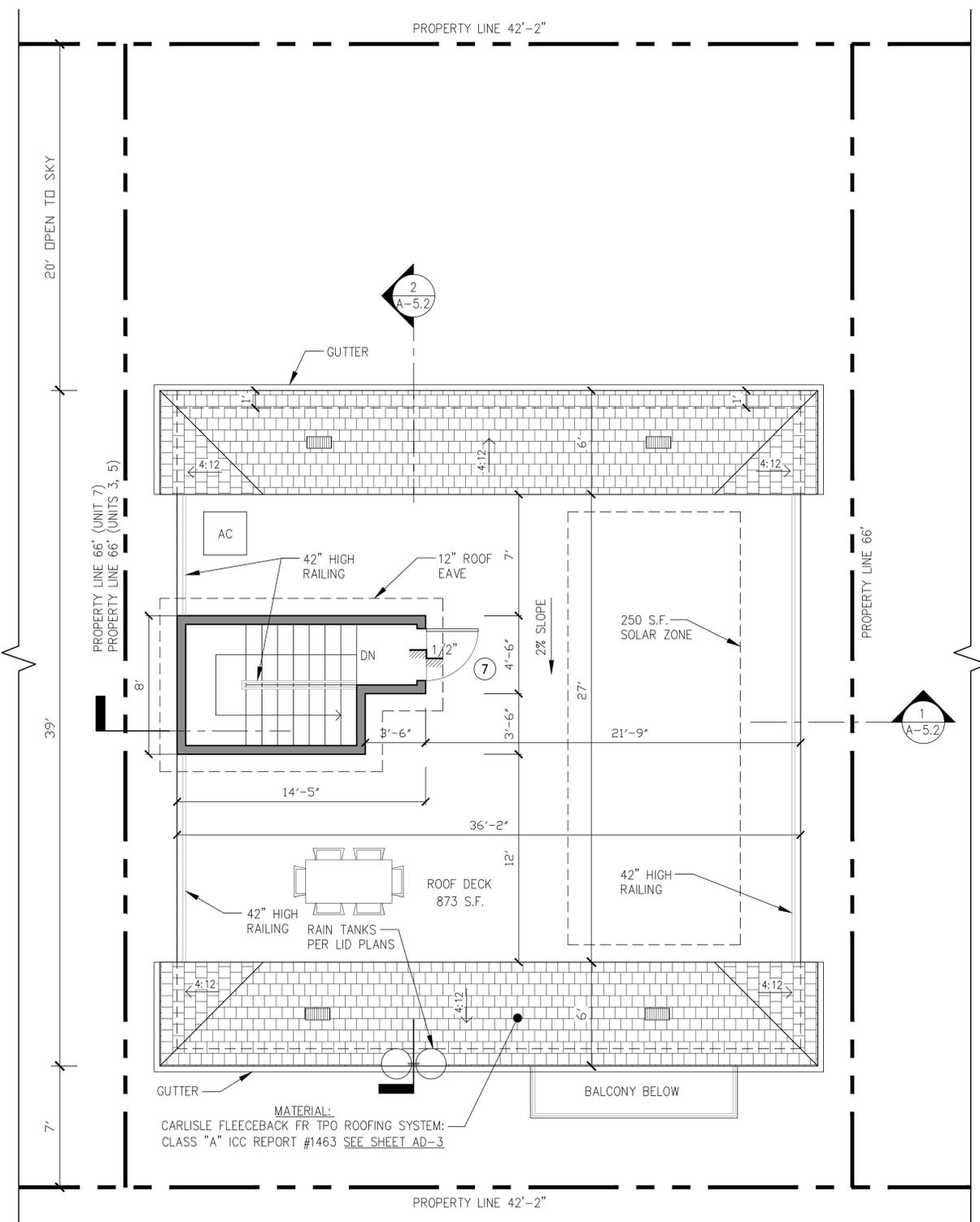
Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-4.4



**PROPOSED UNITS 5  
UPPER ROOF PLAN**  
1/4" = 1'-0"



**PROPOSED UNITS 5  
ROOF PLAN**  
1/4" = 1'-0"

**ROOFING NOTES:**

- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3090 RUNNING THE FULL LENGTH OF THE VALLEY. (704A.1.3)
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- EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
  - NONCOMBUSTIBLE CONSTRUCTION OR
  - PROTECT BY IGNITION-RESISTANT MATERIALS OR
  - MEET SFM 12-7A-3.

**ATTIC VENTILATION NOTES**

**CALCULATION FOR MAIN HOUSE:**  
SFD ATTIC AREA = ±236 S.F. / 150 = 1.57 VENTS REQUIRED  
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**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE



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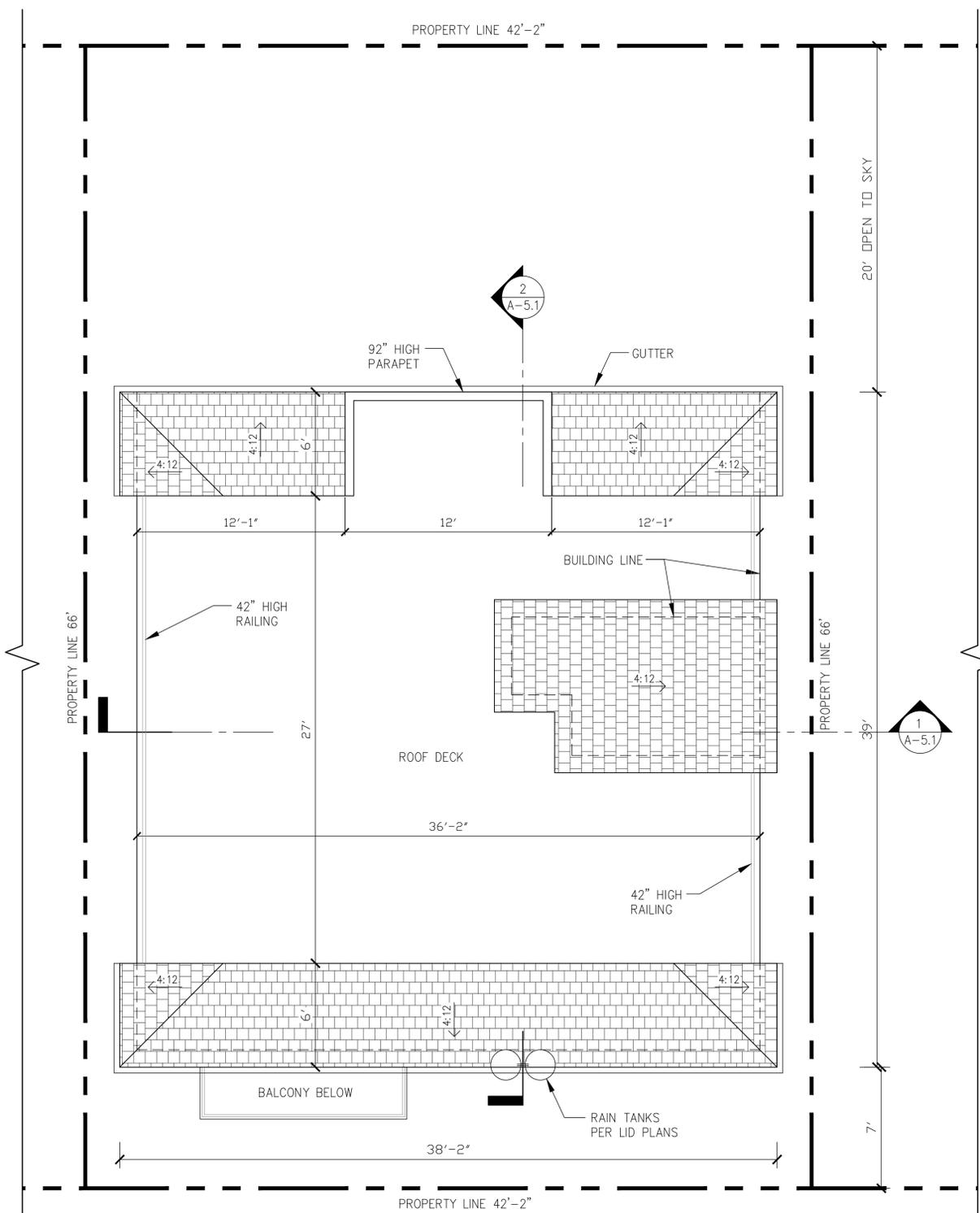
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
PROPOSED  
UNIT 6  
ROOF PLAN

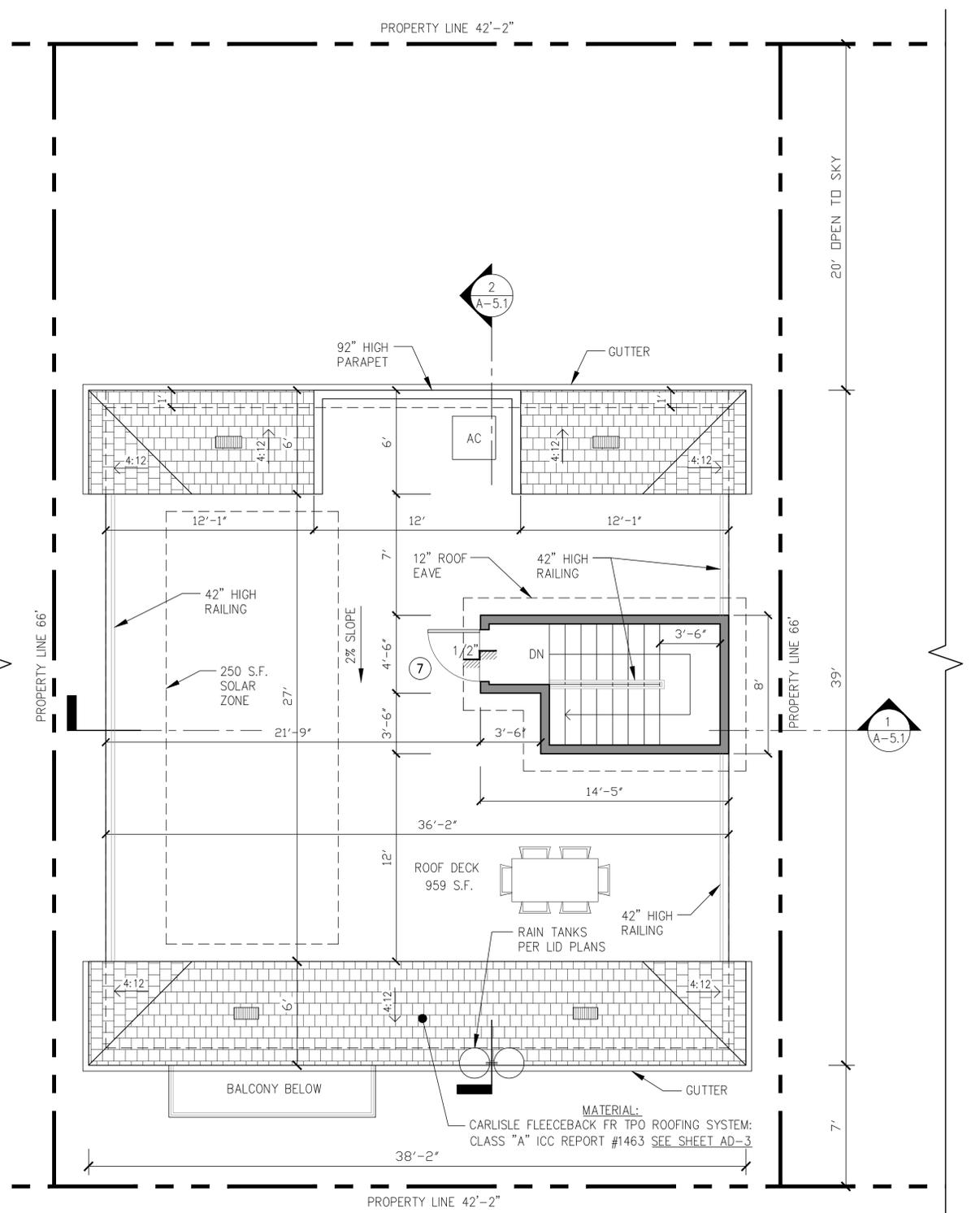
Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-4.5



PROPOSED UNITS 6  
UPPER ROOF PLAN  
1/4" = 1'-0"



PROPOSED UNITS 6  
ROOF PLAN  
1/4" = 1'-0"

**ROOFING NOTES:**

- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET MEETING ASTM D3090 RUNNING THE FULL LENGTH OF THE VALLEY. (704A.1.3)
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**ATTIC VENTILATION NOTES**

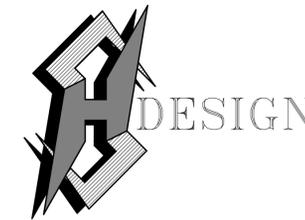
**CALCULATION FOR MAIN HOUSE:**  
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**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE



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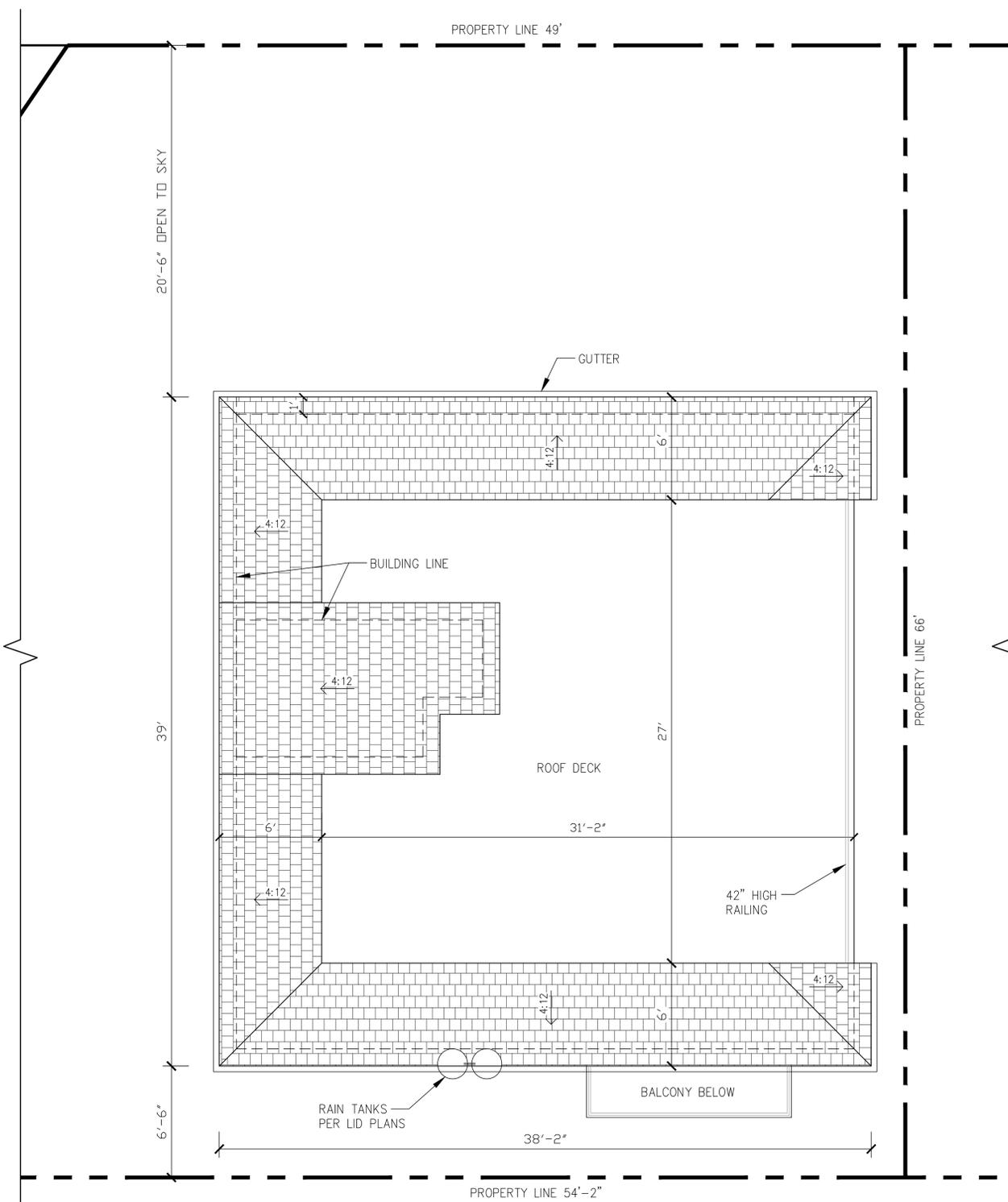
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
PROPOSED  
UNIT 7  
ROOF PLAN

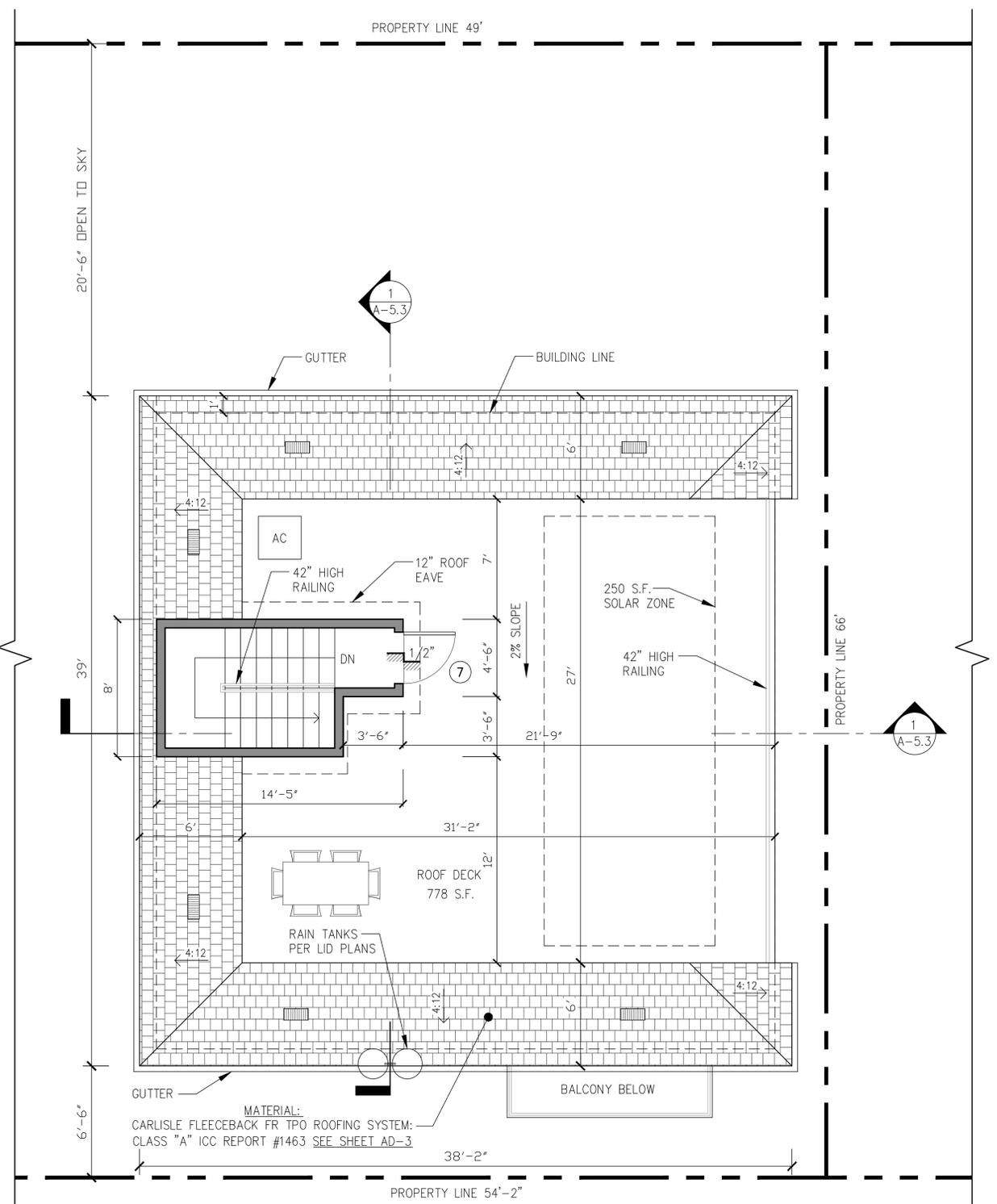
Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-4.6



**PROPOSED UNITS 7  
UPPER ROOF PLAN**  
1/4" = 1'-0"



**PROPOSED UNITS 7  
ROOF PLAN**  
1/4" = 1'-0"

**ROOFING NOTES:**

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- EAVES SHALL MEET ONE OF THE FOLLOWING: (704A.2.3)
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**ATTIC VENTILATION NOTES**

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**LEGEND:**

- STUD WALLS
- DOORS (NUMBERS)  
SEE SHEET A-7.0 FOR DOOR SCHEDULE
- WINDOWS (NUMBERS)  
SEE SHEET A-7.0 FOR WINDOW SCHEDULE



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OFFICE: 323-243-2839

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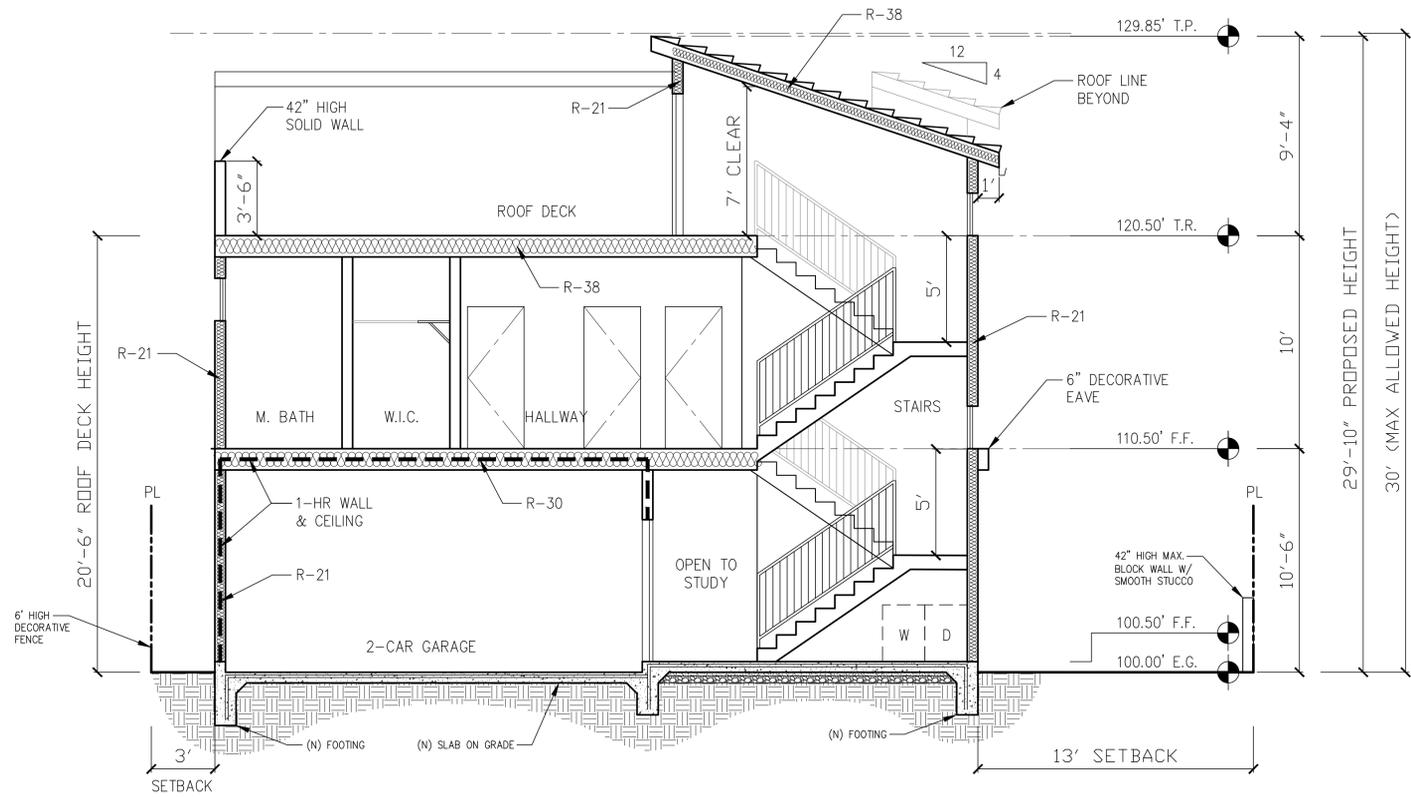
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 1  
SECTIONS**

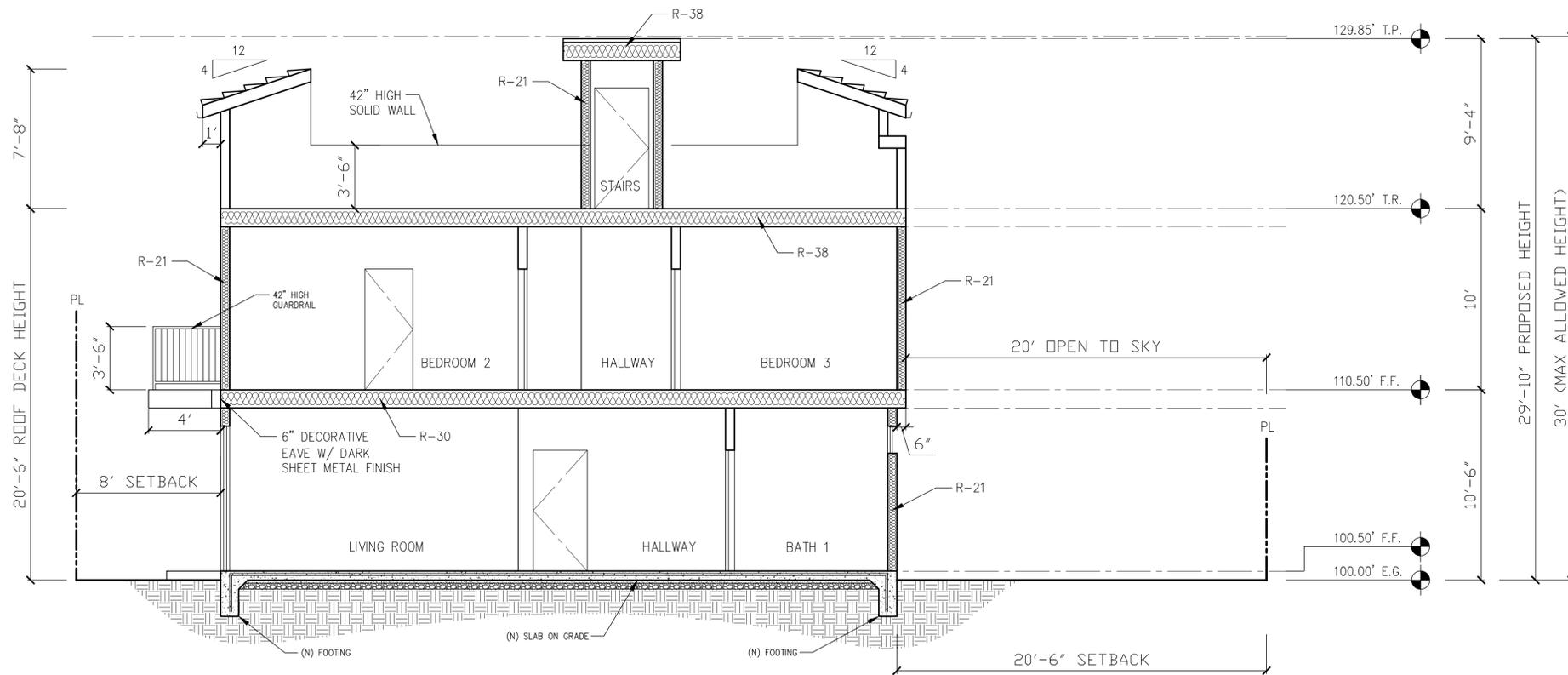
Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-5.0



**UNIT 1 – SECTION 1**  
1/4" = 1'-0"



**UNIT 1 – SECTION 2**  
1/4" = 1'-0"



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Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

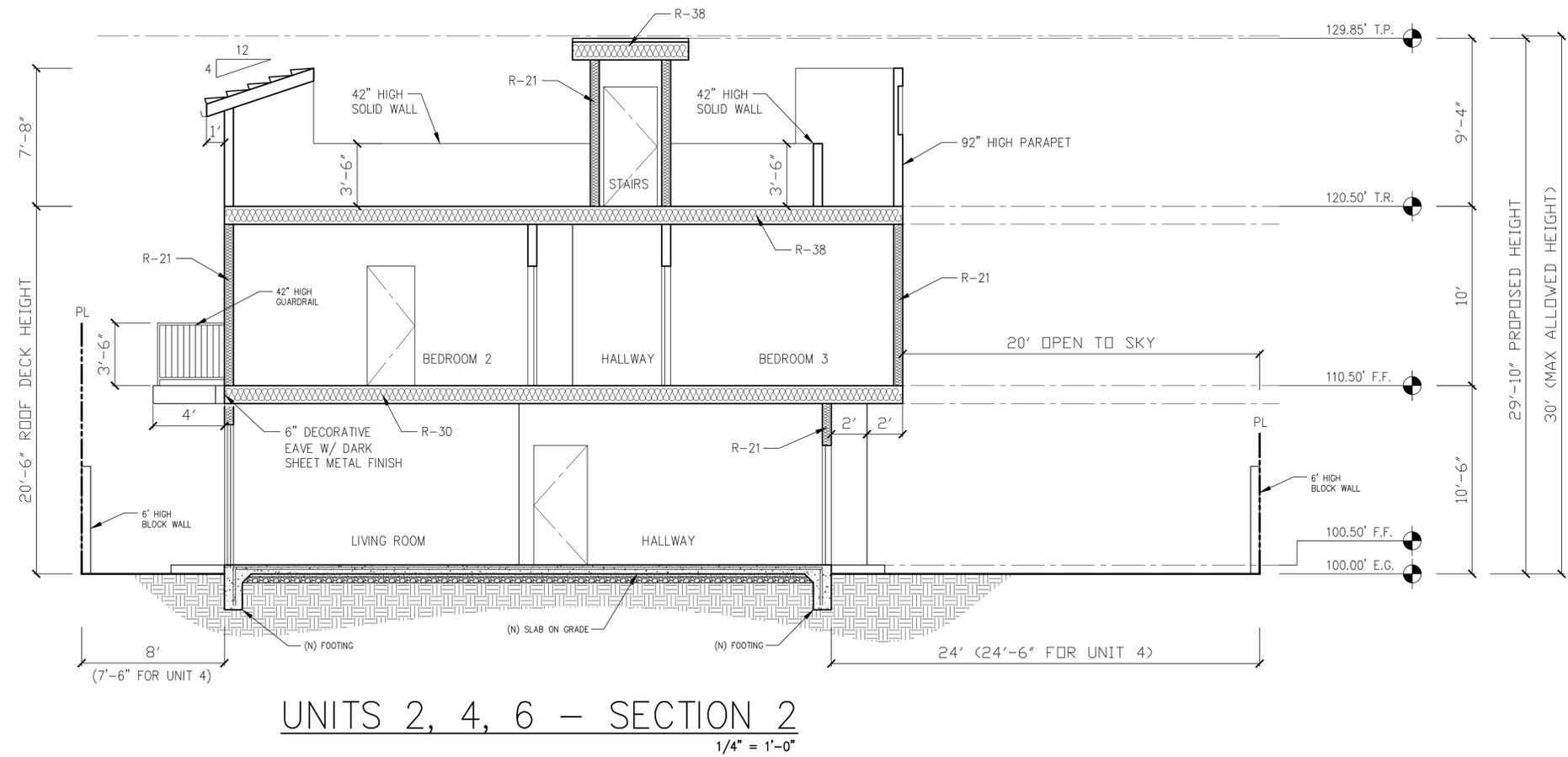
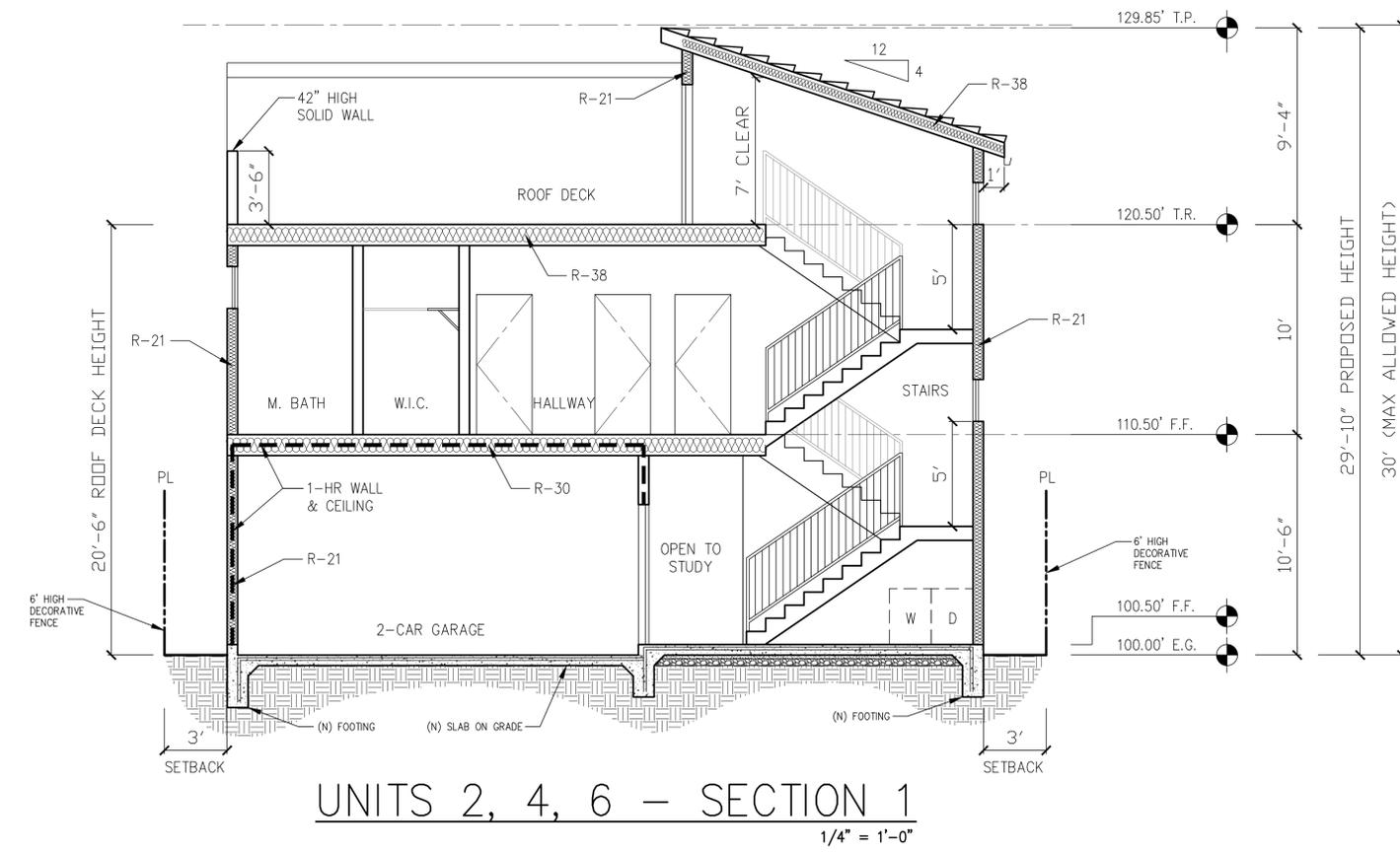
Drawing Content :

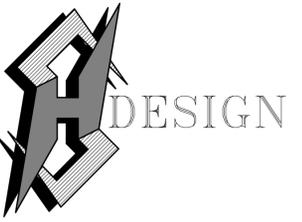
UNITS 2, 4, 6  
SECTIONS

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-5.1

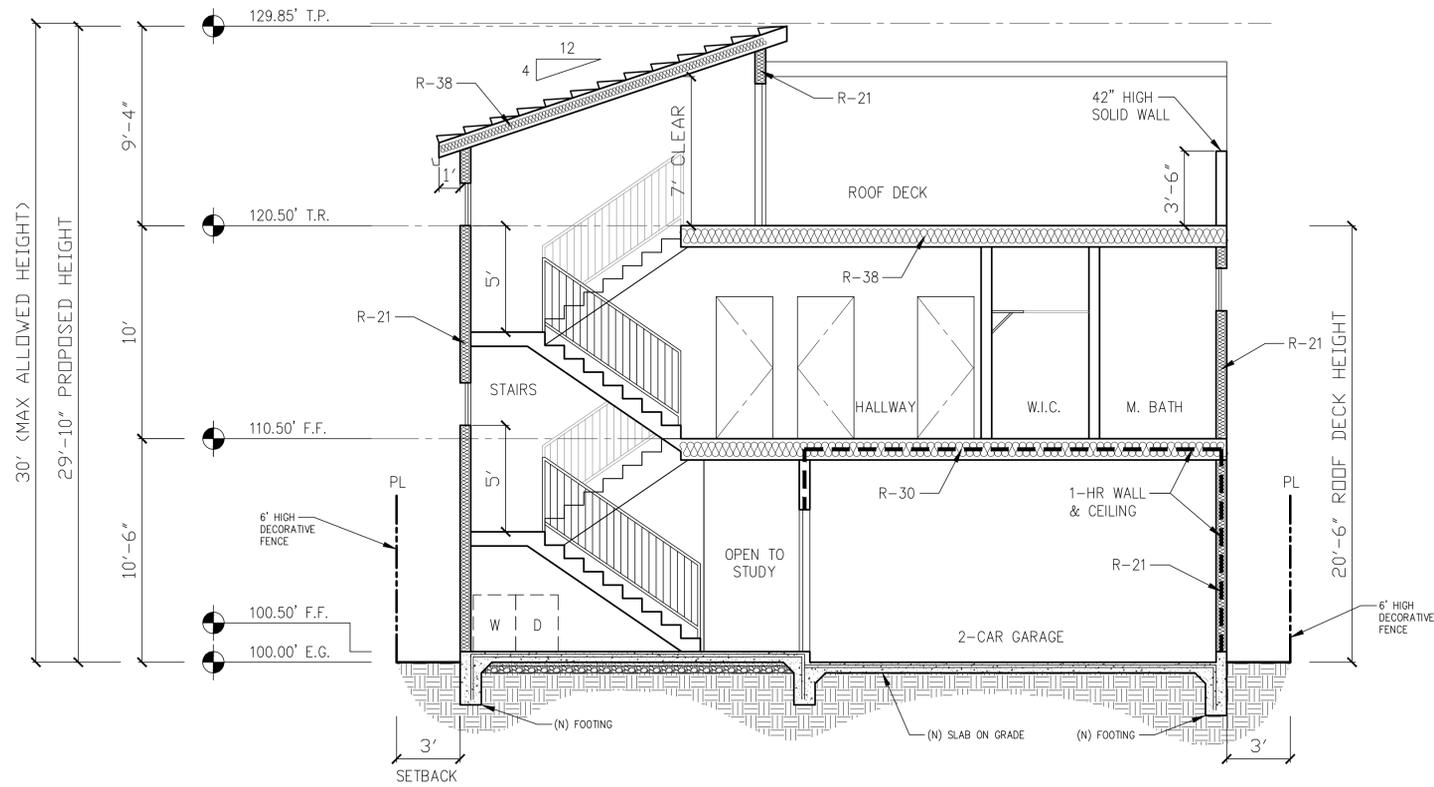




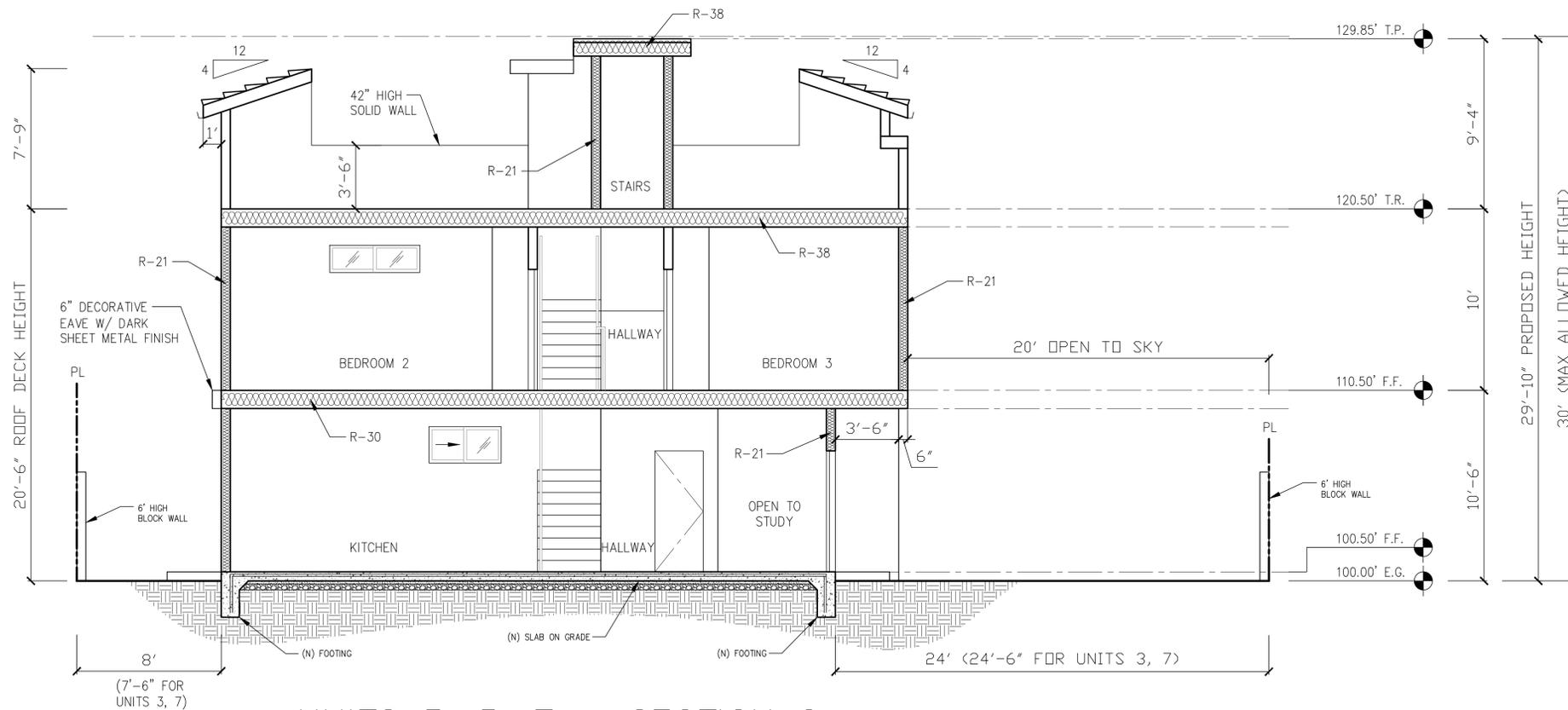
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UNITS 3, 5 - SECTION 1  
1/4" = 1'-0"



UNITS 3, 5, 7 - SECTION 2  
1/4" = 1'-0"

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :

UNITS 3, 5, 7  
SECTIONS

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-5.2



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Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
FOR

**9363 N. BURNET AVE.**

9363 N. BURNET AVE. NORTH HILLS, CA 91343

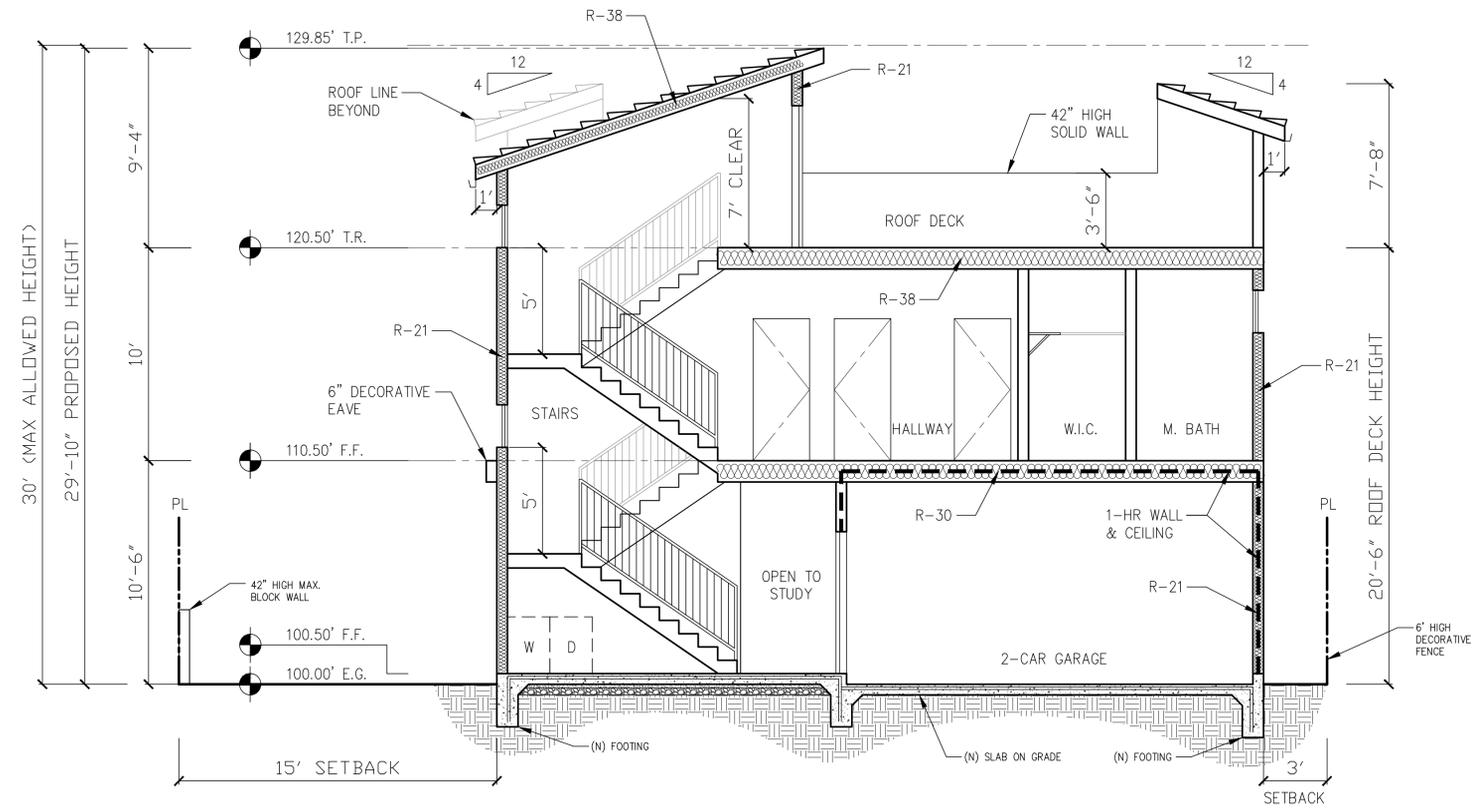
Drawing Content :

UNIT 7  
SECTION

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :

Drawing No :

A-5.3



**UNITS 7 - SECTION 1**  
1/4" = 1'-0"

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NEW 7 SMALL LOT SUBDIVISION  
FOR

9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :

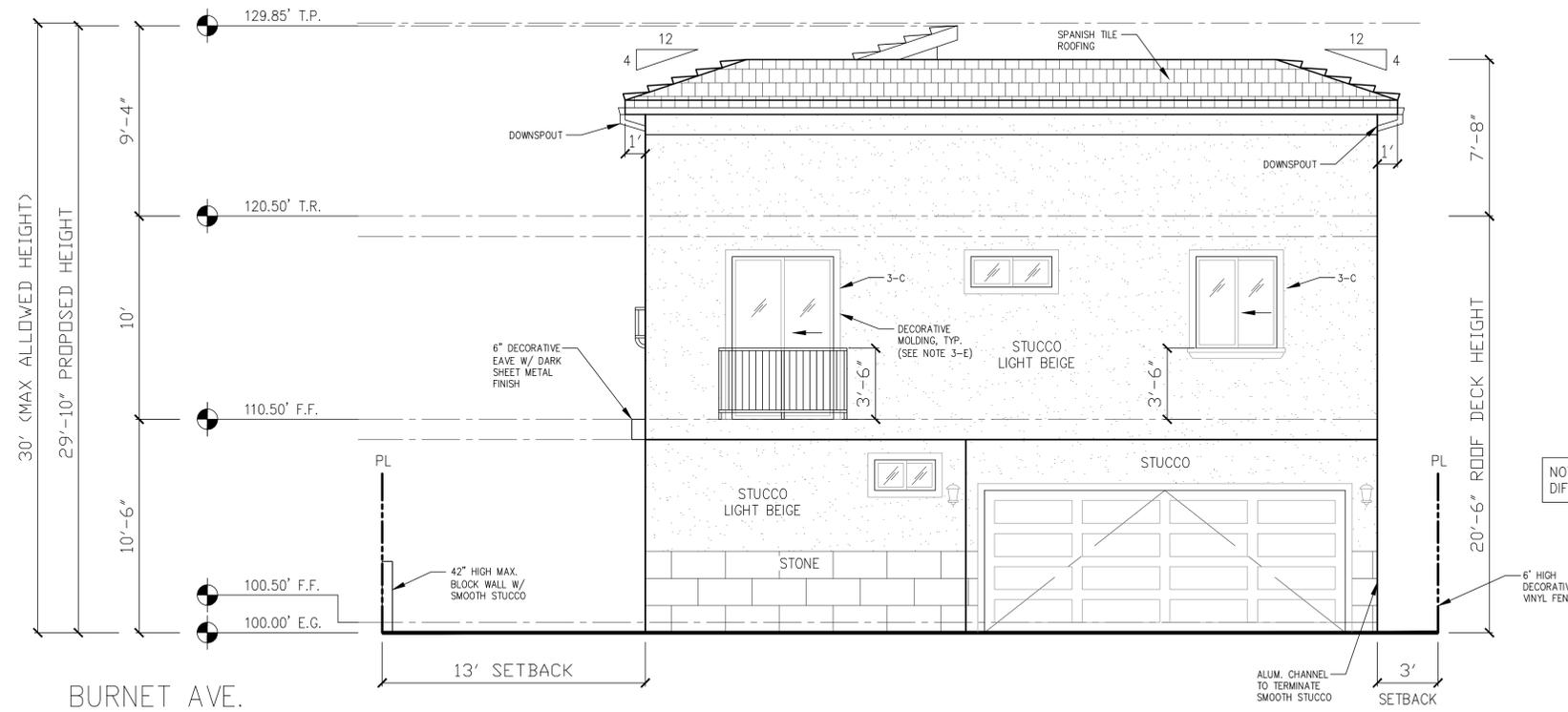
UNIT 1  
NORTH / SOUTH  
ELEVATIONS

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :

Drawing No :

A-6.0

AUGUST 23, 2021



BURNET AVE.

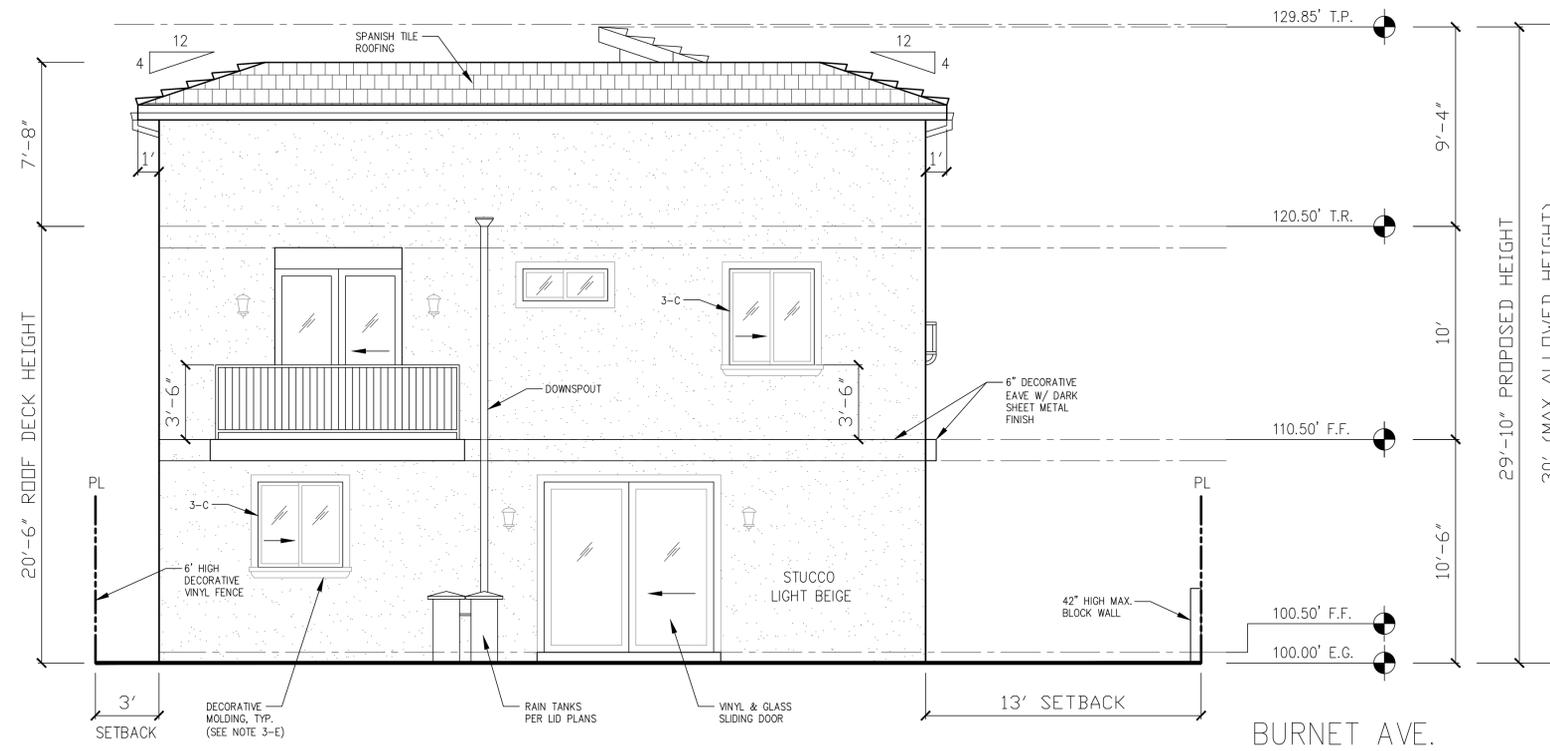
LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

UNIT 1 – NORTH ELEVATION

1/4" = 1'-0"

NOTES:

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



BURNET AVE.

UNIT 1 – SOUTH ELEVATION

1/4" = 1'-0"



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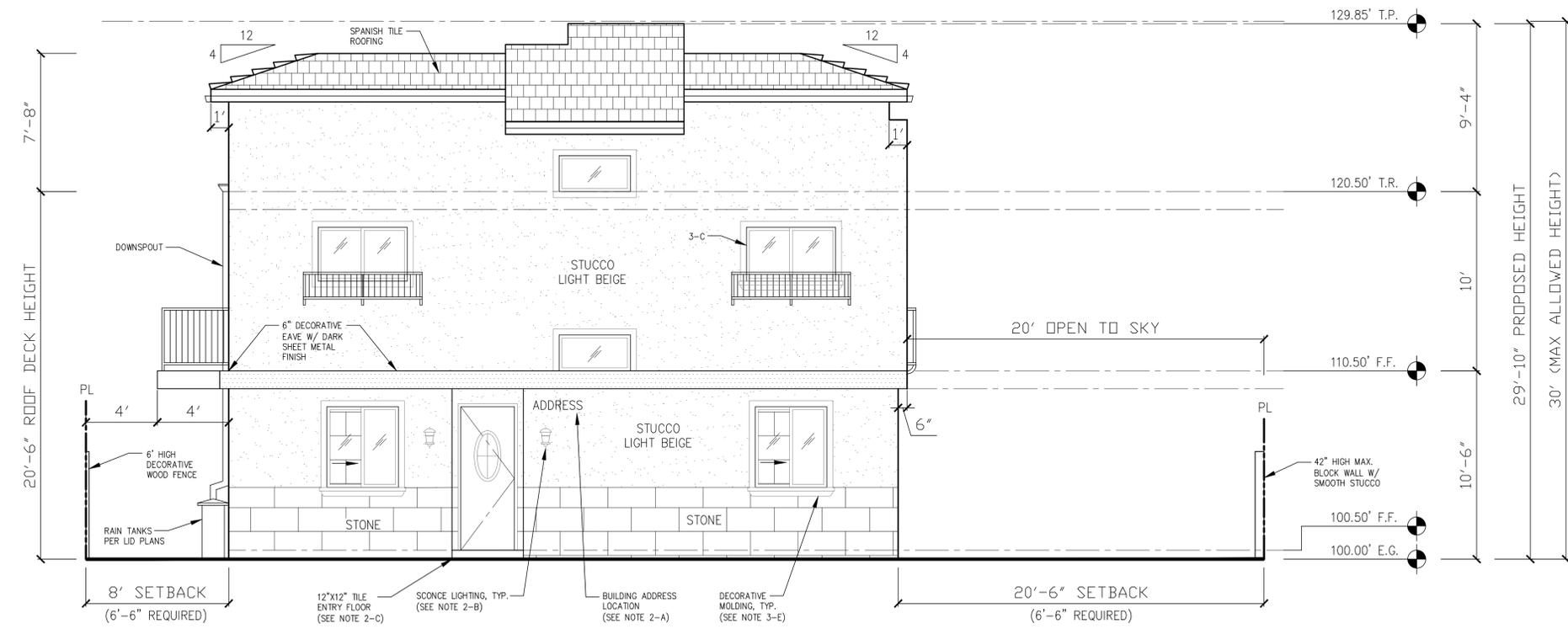
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 1  
 EAST / WEST  
 ELEVATIONS**

Designer : HS  
 Manager : \_\_\_\_\_  
 Start Date : 01/25/21  
 Job No : 21-044  
 Scale : \_\_\_\_\_  
 Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.1



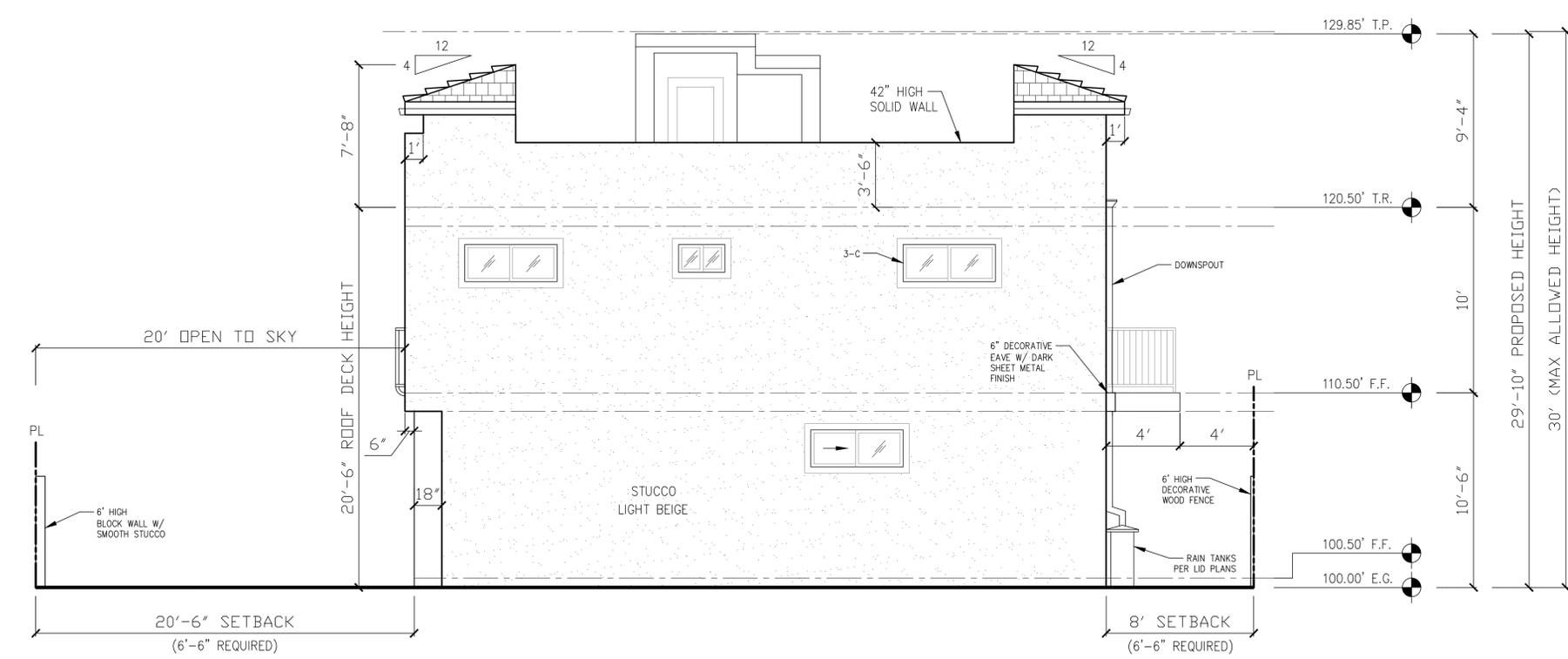
**UNIT 1 – EAST ELEVATION**  
 1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 1 – WEST ELEVATION**  
 1/4" = 1'-0"

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

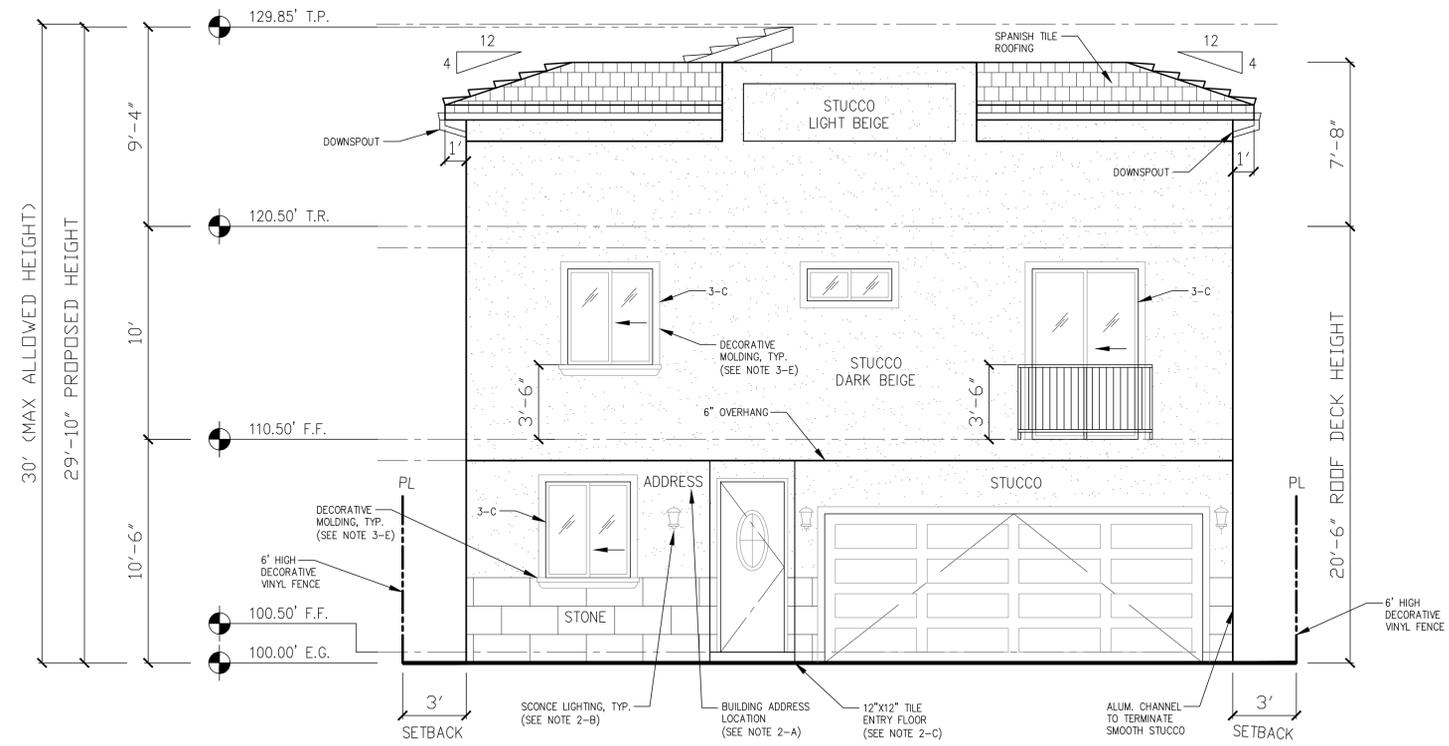

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 2  
NORTH / SOUTH  
ELEVATIONS**

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-6.2



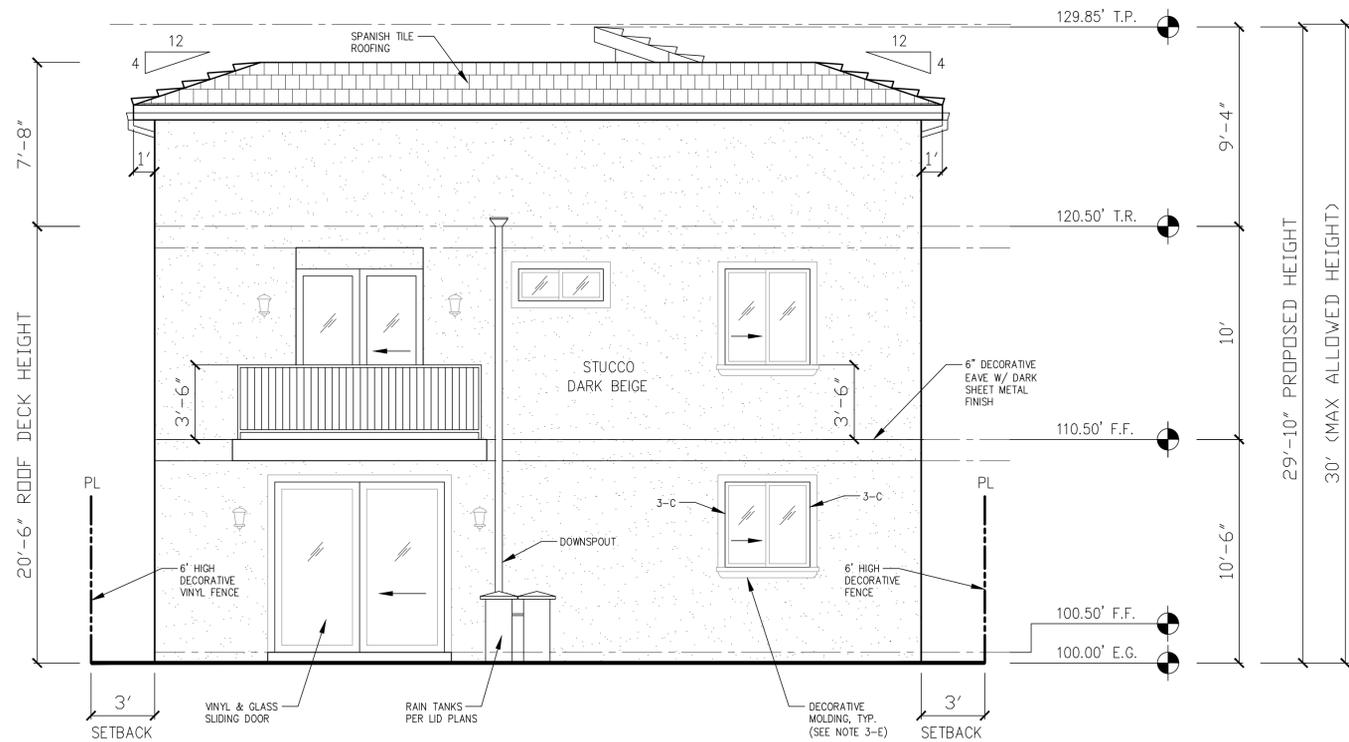
**UNIT 2 – NORTH ELEVATION**

1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"X12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 2 – SOUTH ELEVATION**

1/4" = 1'-0"

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

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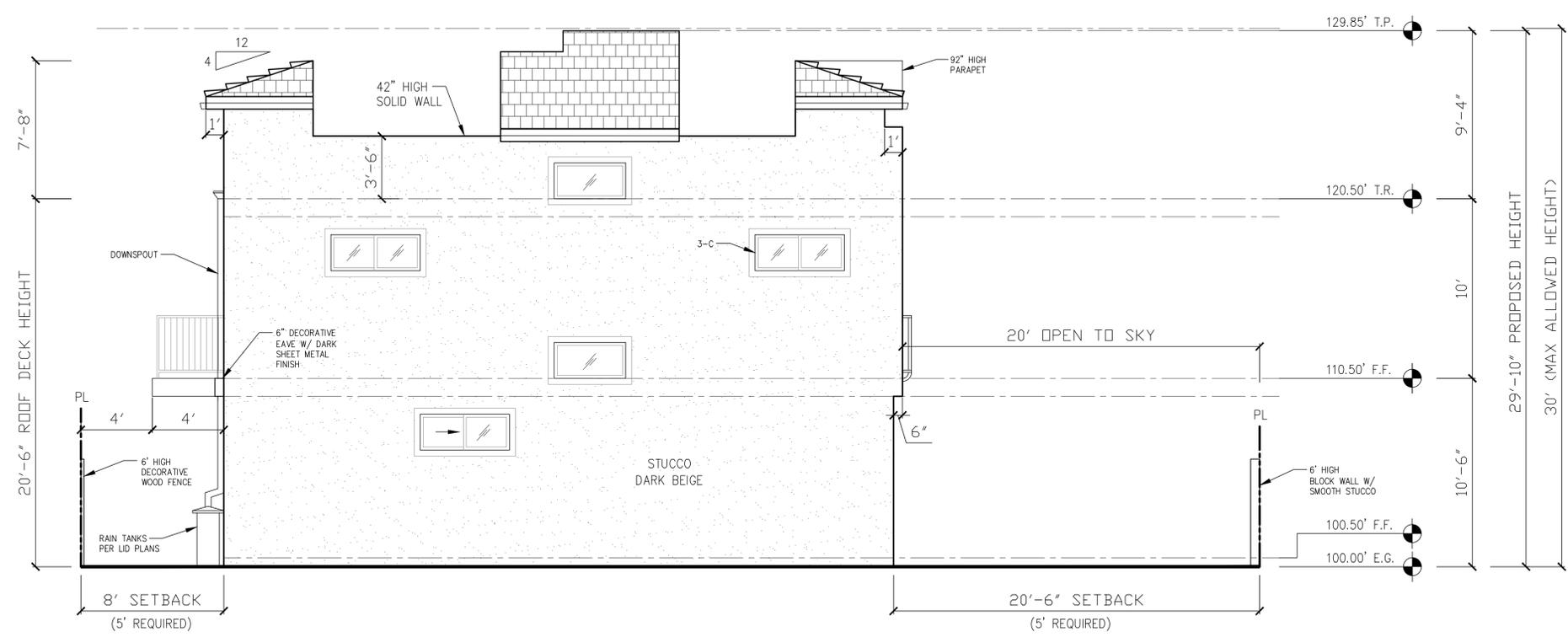
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 2  
EAST / WEST  
ELEVATIONS**

Designer : HS  
Manager : \_\_\_\_\_  
Start Date : 01/25/21  
Job No : 21-044  
Scale : \_\_\_\_\_  
Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.3



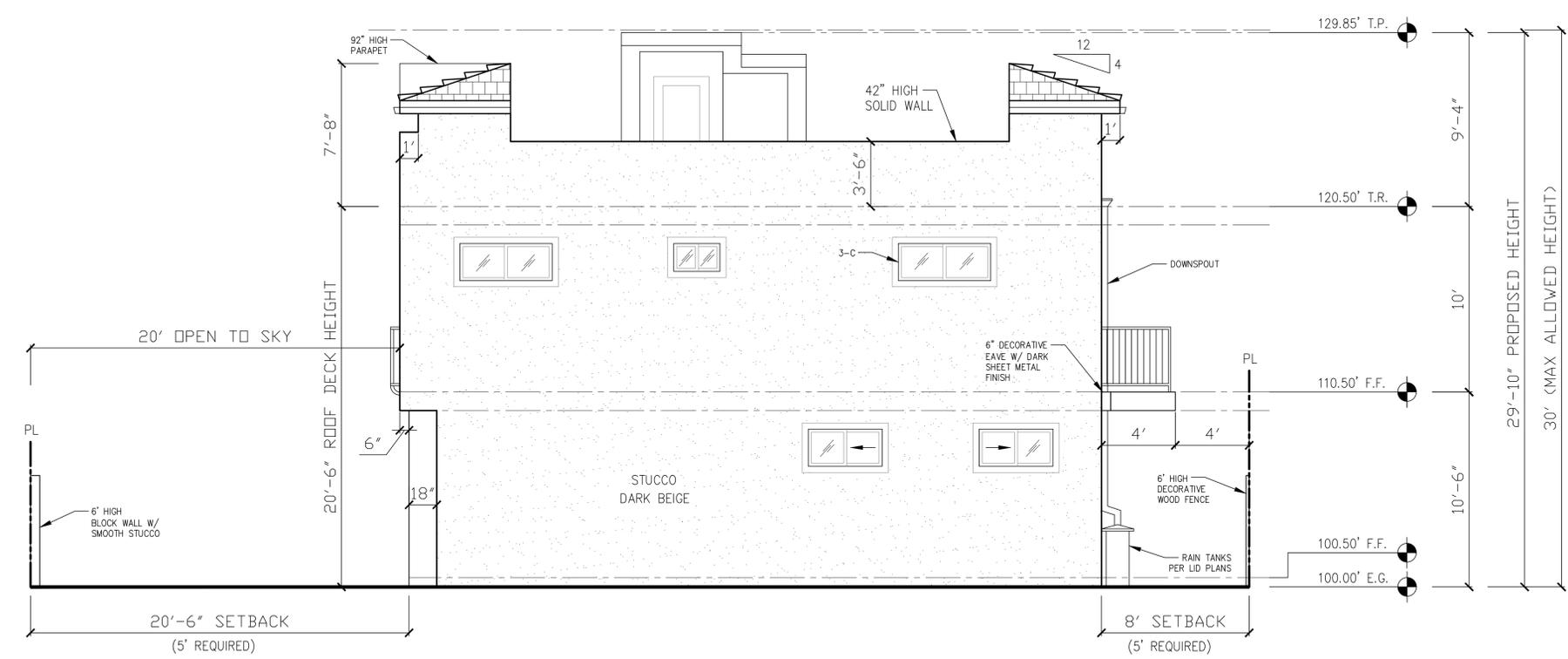
**UNIT 2 – EAST ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"X12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 2 – WEST ELEVATION**  
1/4" = 1'-0"

Revisions : Date :

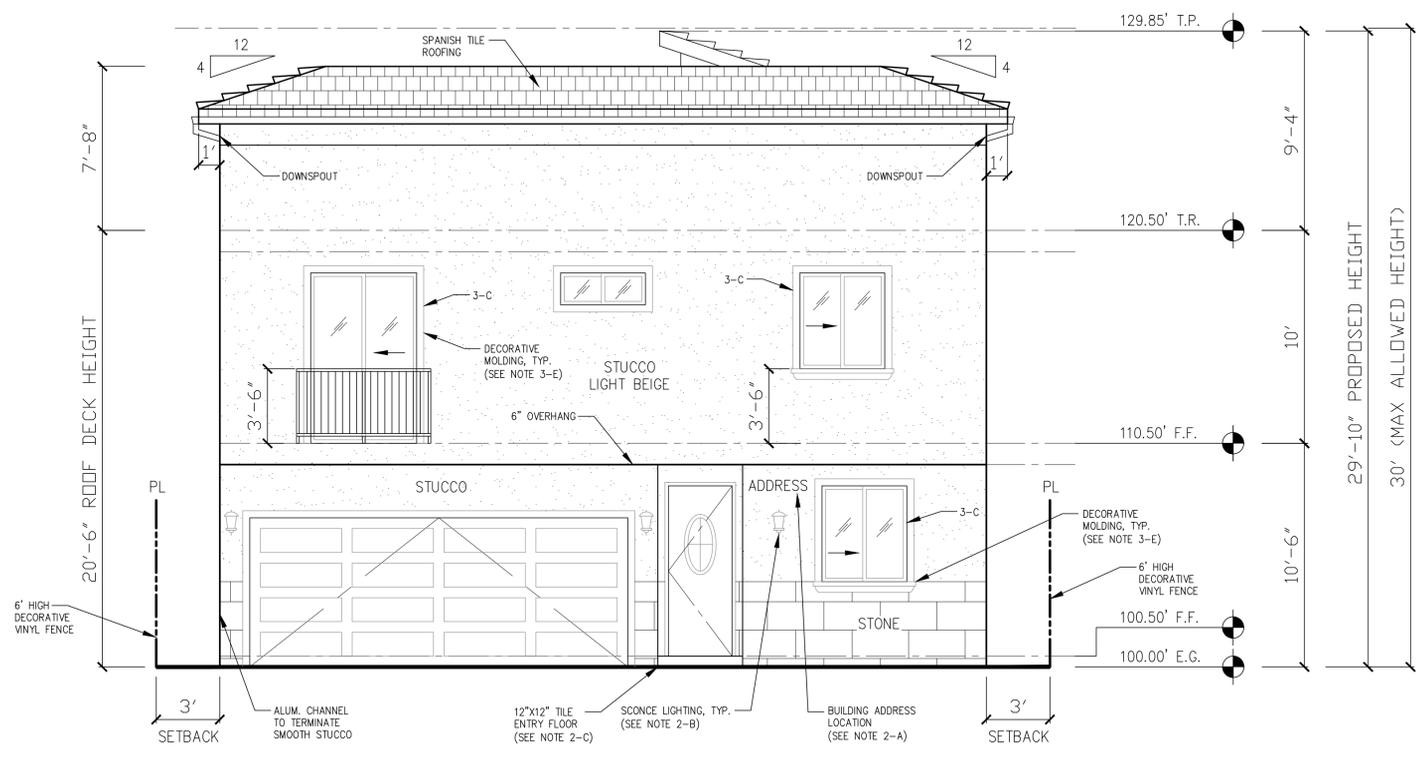

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 3  
NORTH / SOUTH  
ELEVATIONS**

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-6.4



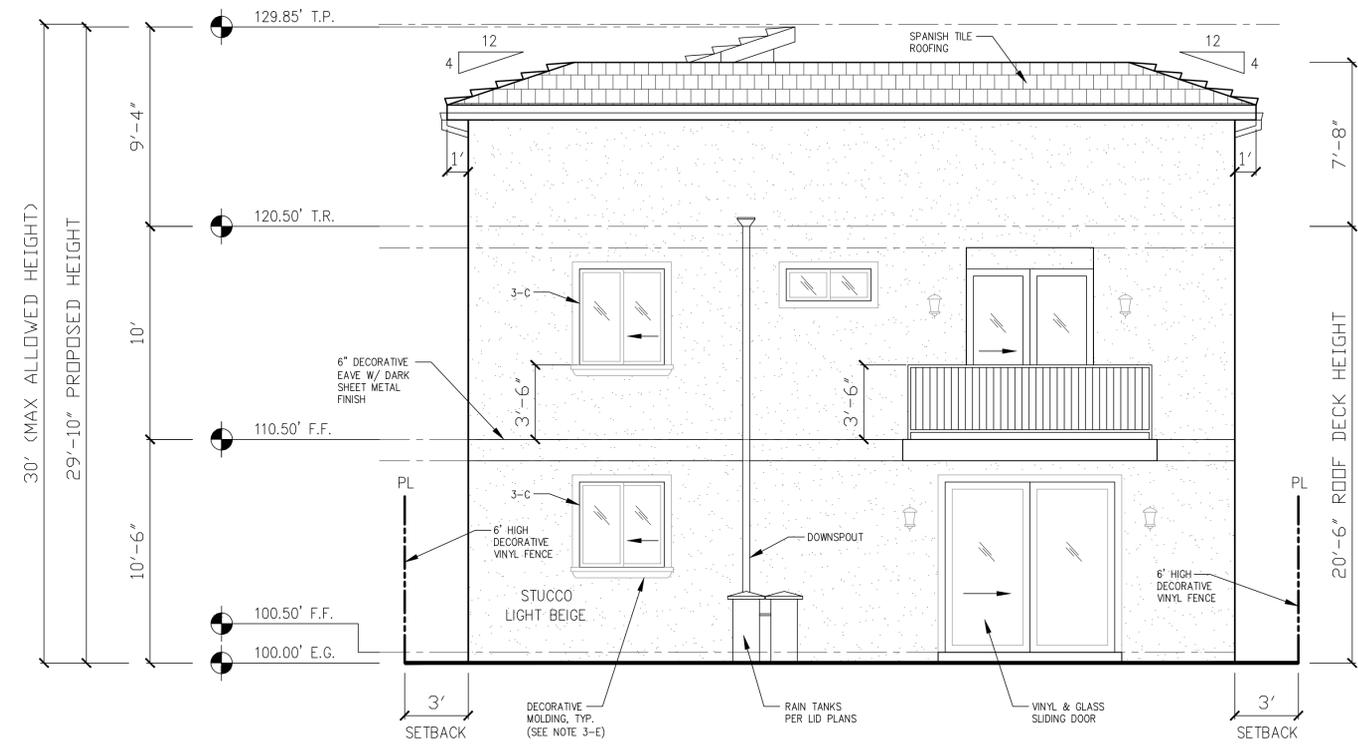
**UNIT 3 – NORTH ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 3 – SOUTH ELEVATION**  
1/4" = 1'-0"



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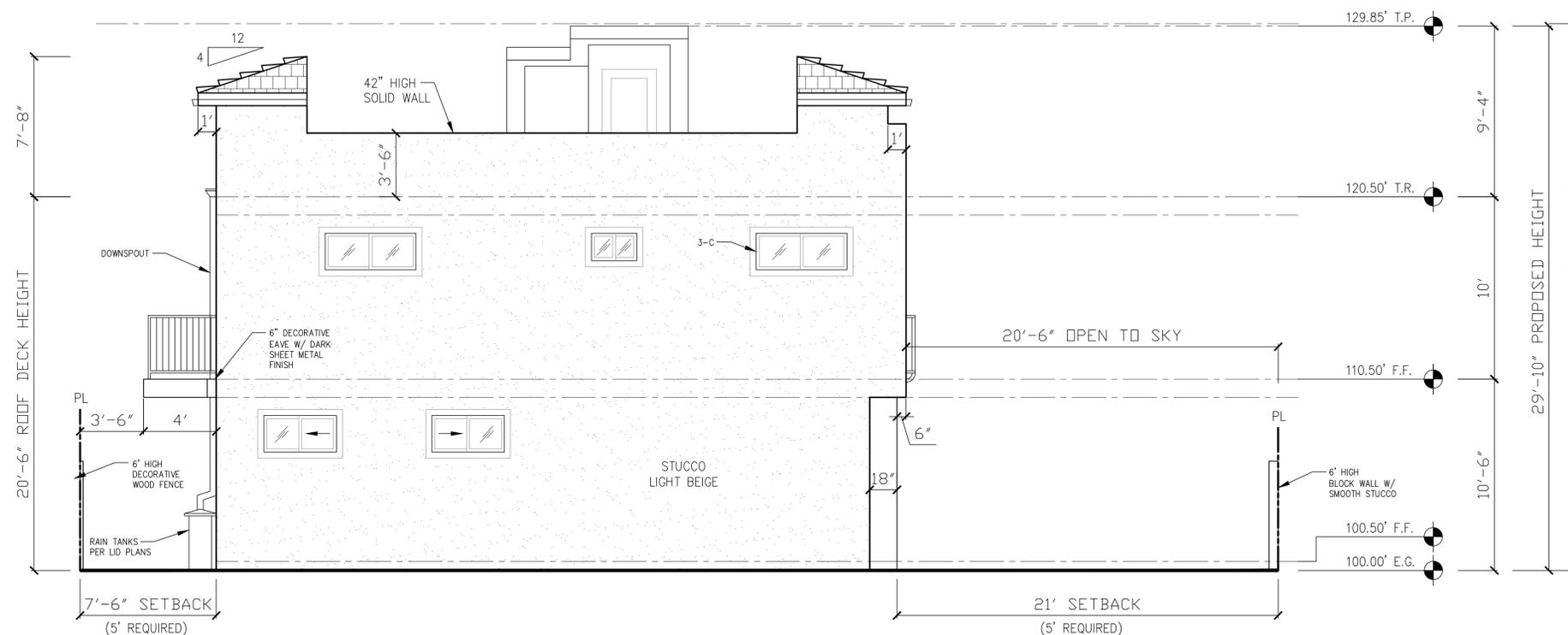
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 3  
EAST / WEST  
ELEVATIONS**

Designer : HS  
Manager : \_\_\_\_\_  
Start Date : 01/25/21  
Job No : 21-044  
Scale : \_\_\_\_\_  
Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.5



**UNIT 3 – EAST ELEVATION**

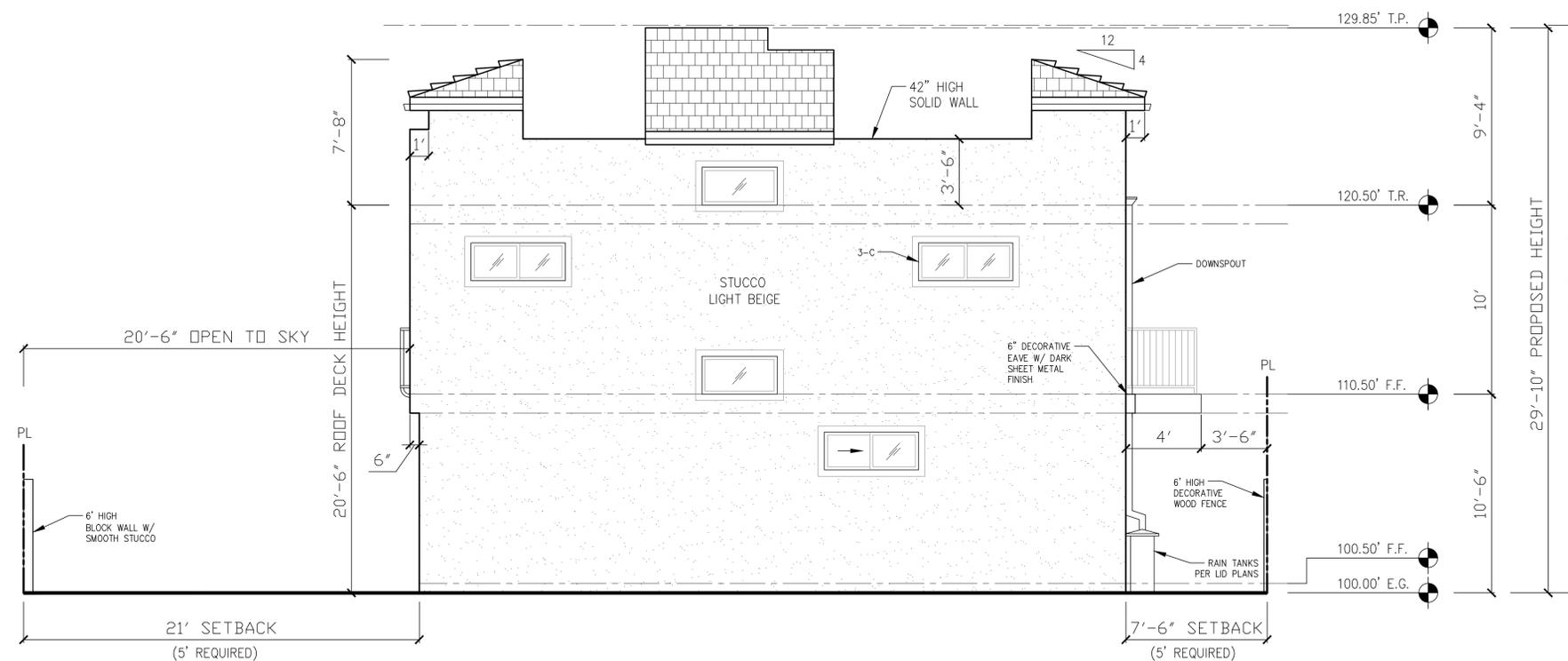
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 3 – WEST ELEVATION**

1/4" = 1'-0"



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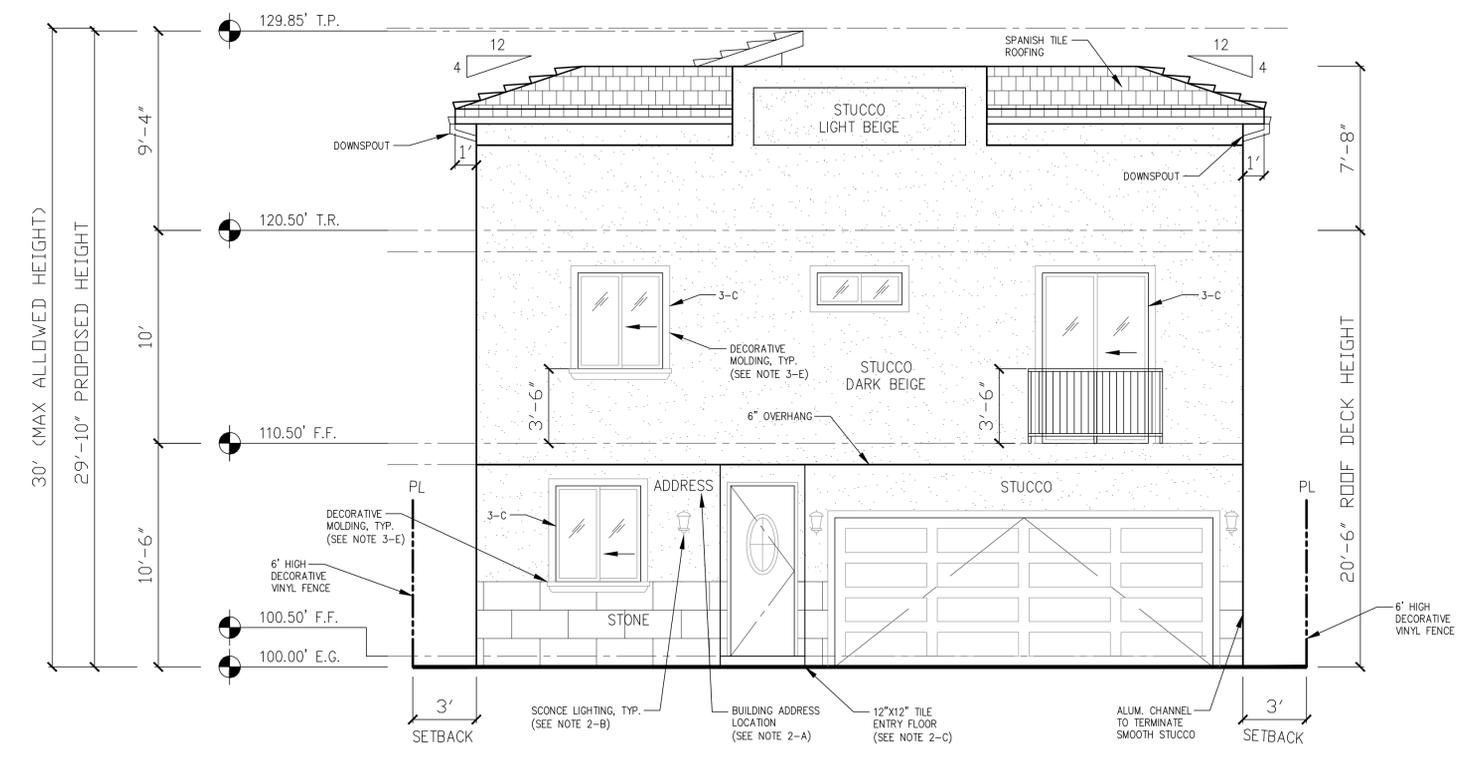
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 4  
NORTH / SOUTH  
ELEVATIONS**

Designer : HS  
Manager : \_\_\_\_\_  
Start Date : 01/25/21  
Job No : 21-044  
Scale : \_\_\_\_\_  
Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.6



NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

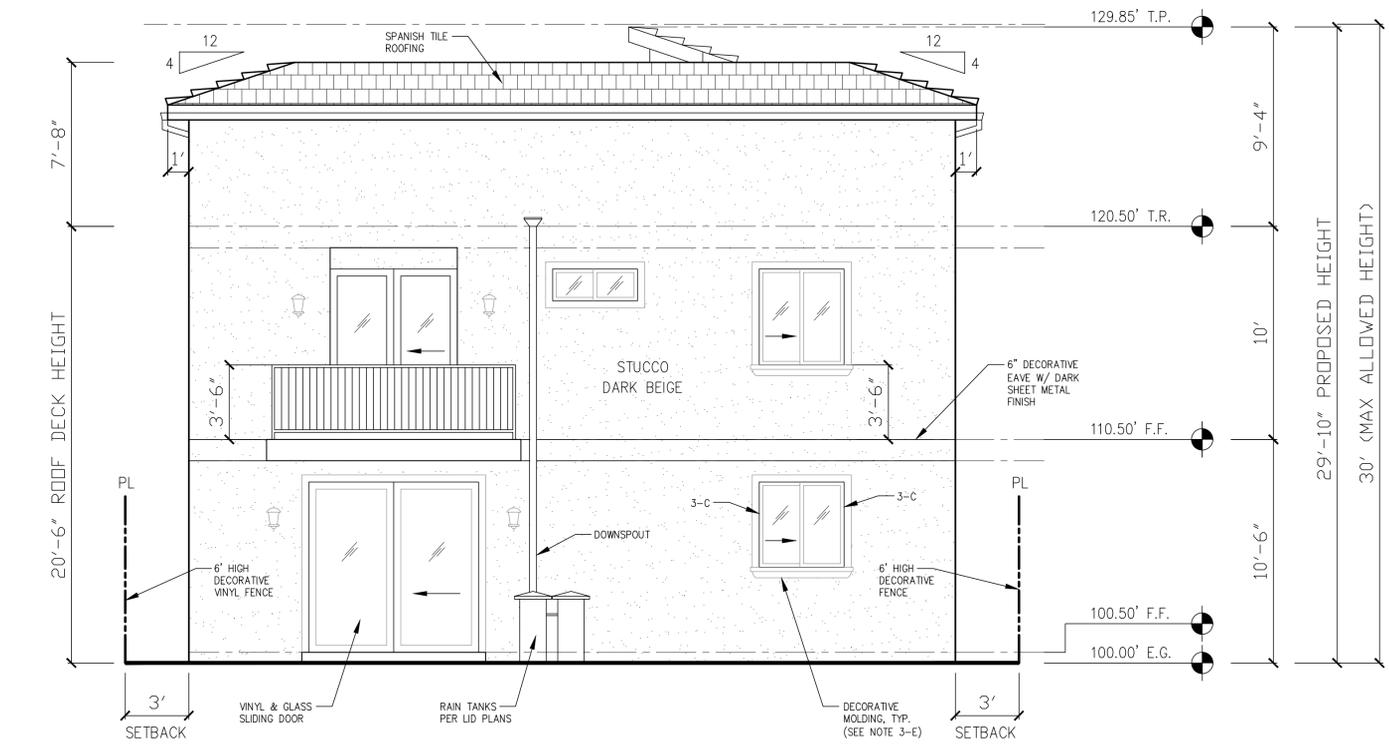
**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"X12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

**UNIT 4 – NORTH ELEVATION**

1/4" = 1'-0"



**UNIT 4 – SOUTH ELEVATION**

1/4" = 1'-0"



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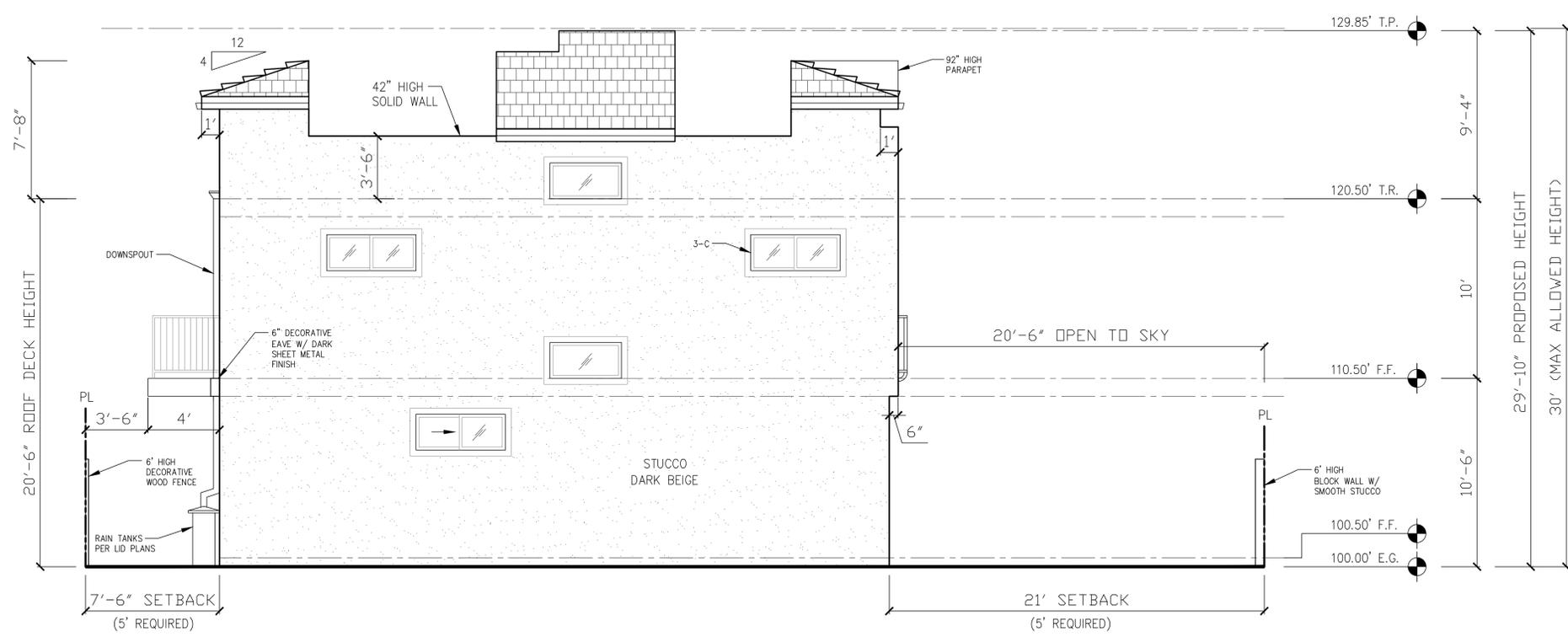
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 4  
EAST / WEST  
ELEVATIONS**

Designer : HS  
Manager : \_\_\_\_\_  
Start Date : 01/25/21  
Job No : 21-044  
Scale : \_\_\_\_\_  
Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.7



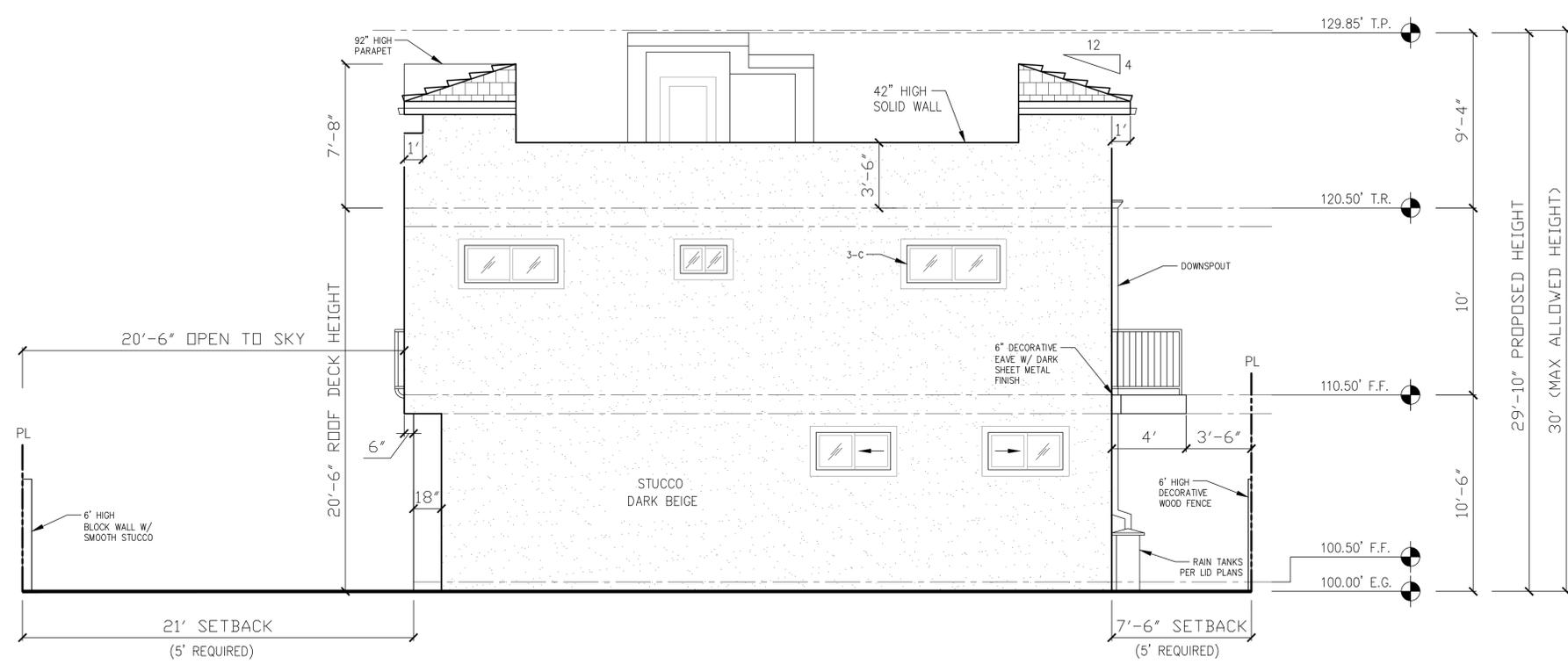
**UNIT 4 – EAST ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 4 – WEST ELEVATION**  
1/4" = 1'-0"

Revisions : Date :

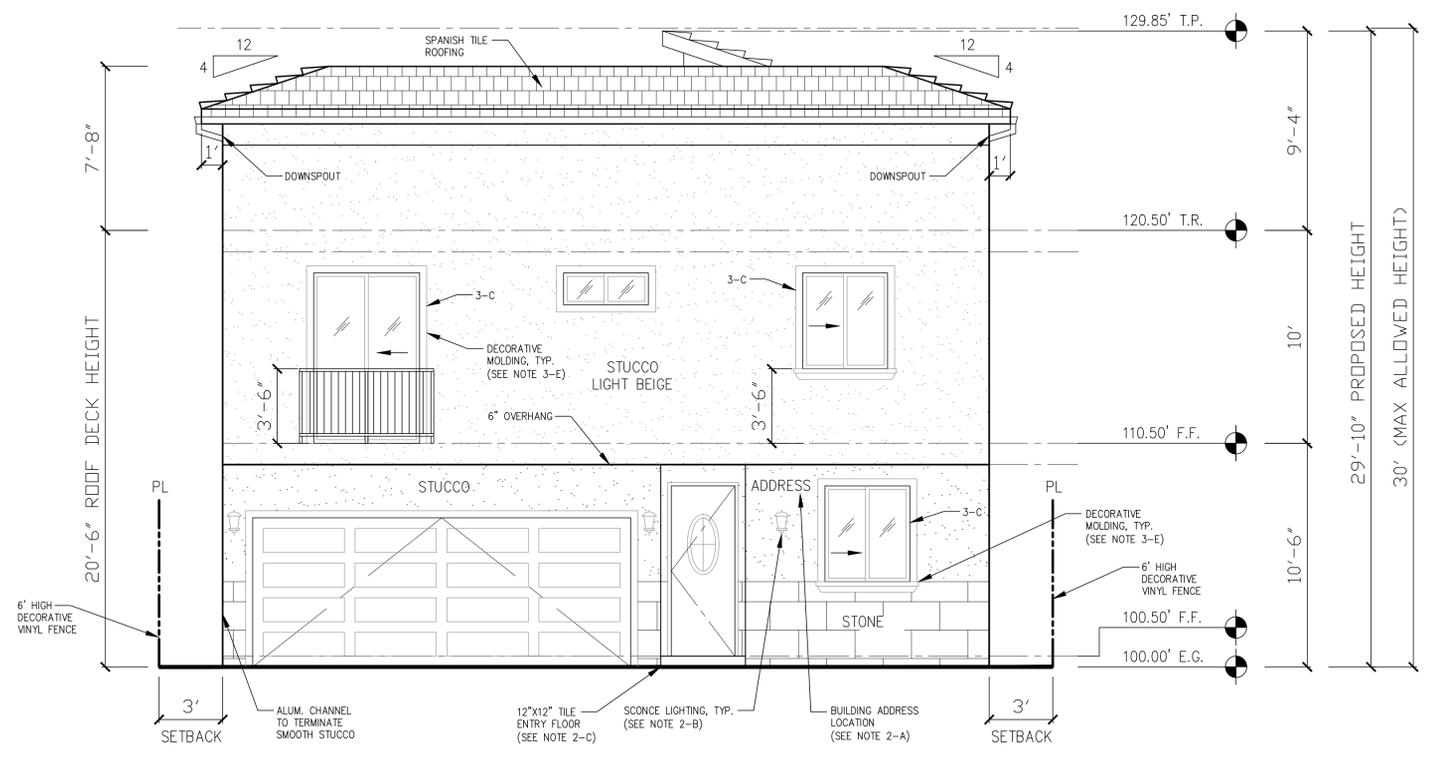

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 5  
NORTH / SOUTH  
ELEVATIONS**

Designer : HS  
 Manager :  
 Start Date : 01/25/21  
 Job No : 21-044  
 Scale :  
 Drawing No :

AUGUST 23, 2021

A-6.8



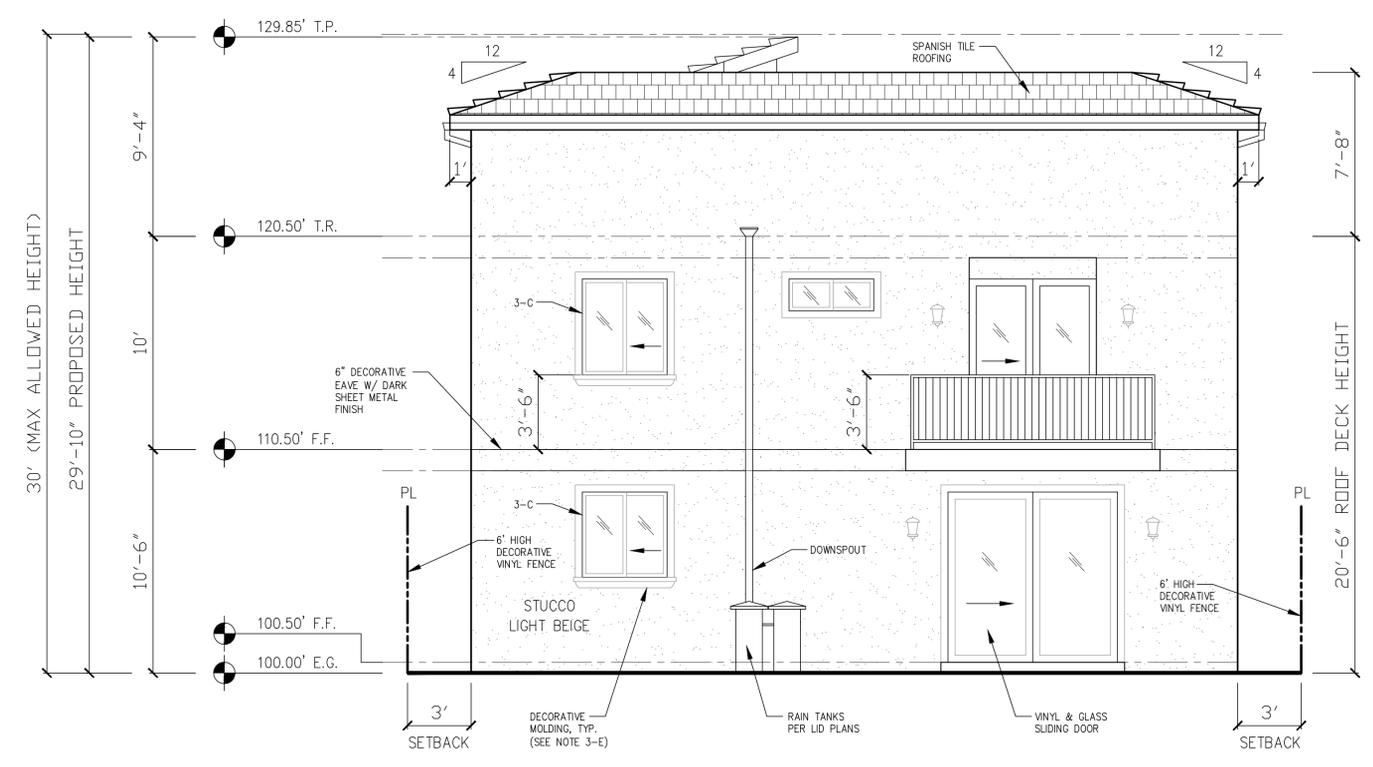
**UNIT 5 – NORTH ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"x12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 5 – SOUTH ELEVATION**  
1/4" = 1'-0"



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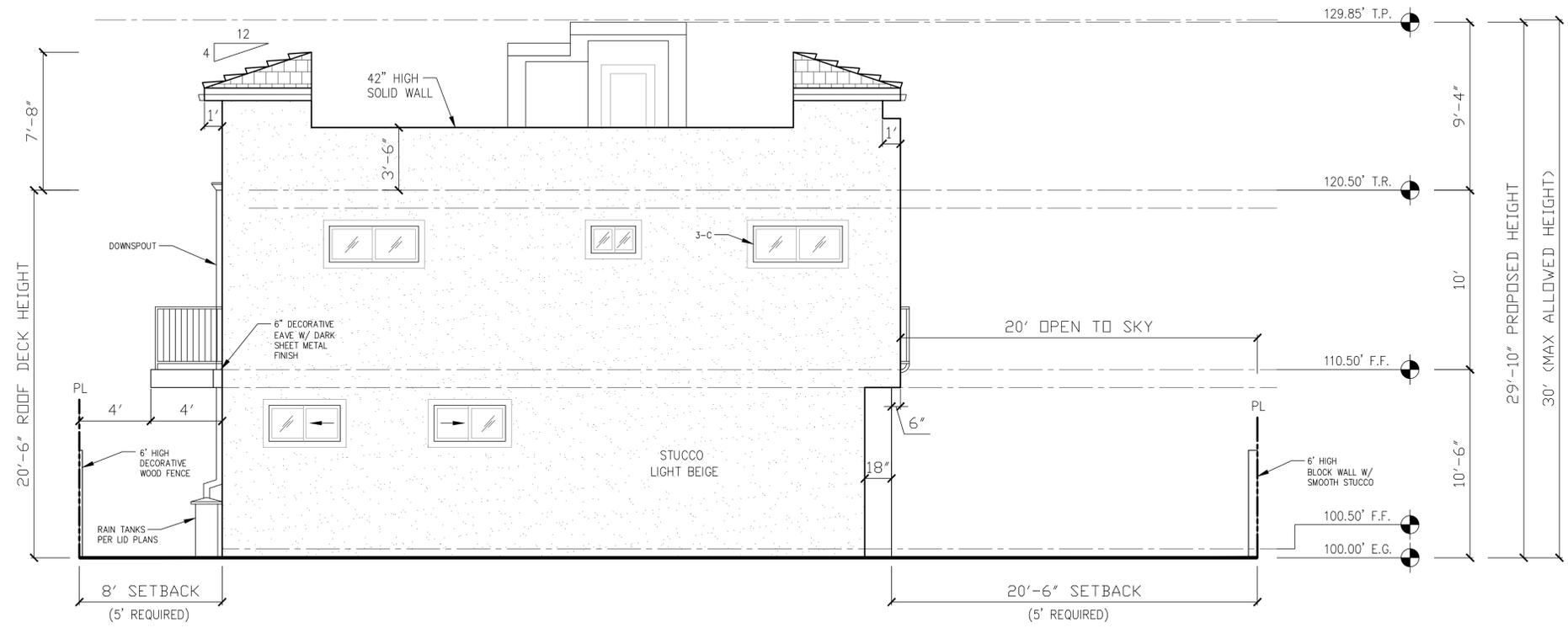

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 5  
EAST / WEST  
ELEVATIONS**

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-6.9



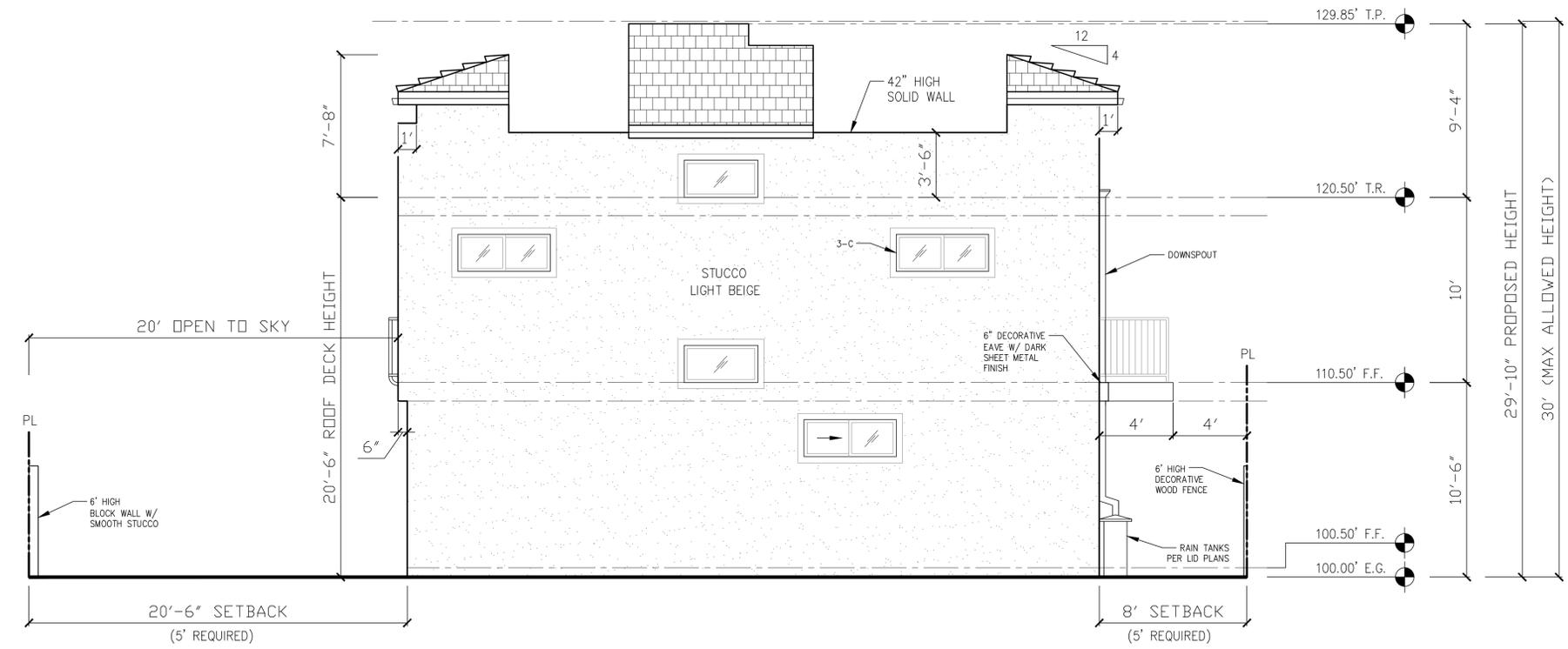
**UNIT 5 – EAST ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
- 2-C: ENTRYWAY LANDING WITH 12"X12" BEIGE TILE.
- 2-E: MINIMUM OF 6 INCH OVERHAND ABOVE ENTRYWAY.
- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 5 – WEST ELEVATION**  
1/4" = 1'-0"

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

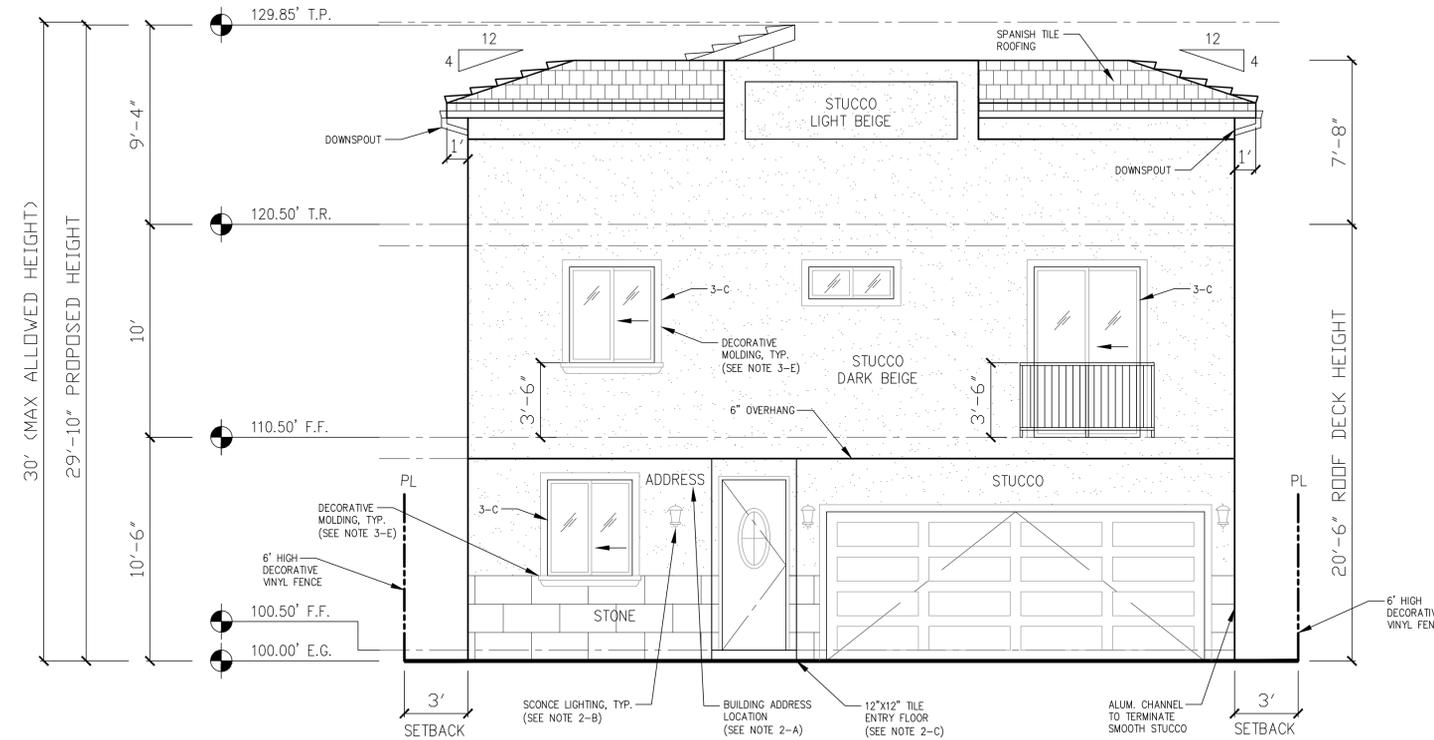

NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 6  
NORTH / SOUTH  
ELEVATIONS**

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-6.10



NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

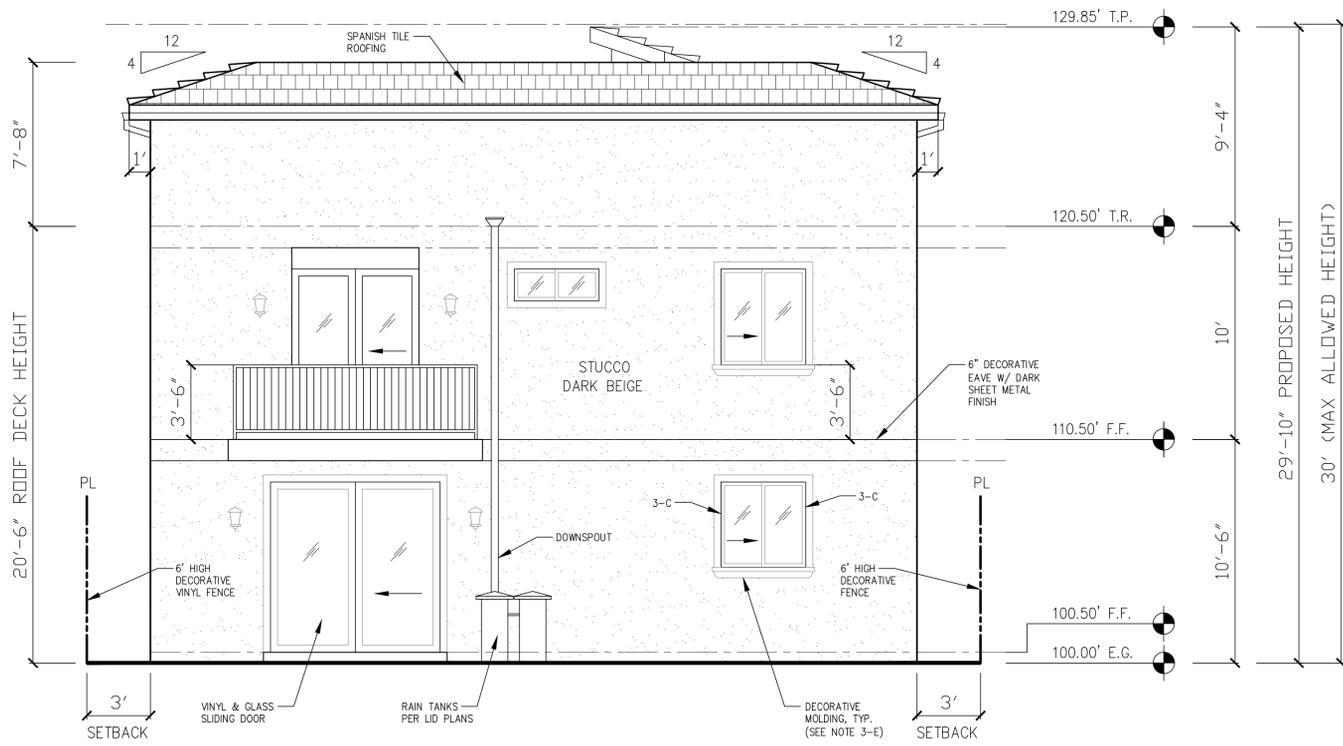
**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
- 2-B: ORNAMENTAL LOW LEVEL LIGHTING AT PRIMARY ENTRYWAY, TYP.
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- 3-C: ALL WINDOWS TO BE SET BACK 3 INCHES FROM WALL FACADE.
- 3-E: WINDOW MOLDING TO BE PROVIDED.

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

**UNIT 6 – NORTH ELEVATION**

1/4" = 1'-0"



**UNIT 6 – SOUTH ELEVATION**

1/4" = 1'-0"



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OFFICE: 323-243-2639

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Revisions: \_\_\_\_\_ Date: \_\_\_\_\_

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▲	_____	_____
▲	_____	_____
▲	_____	_____

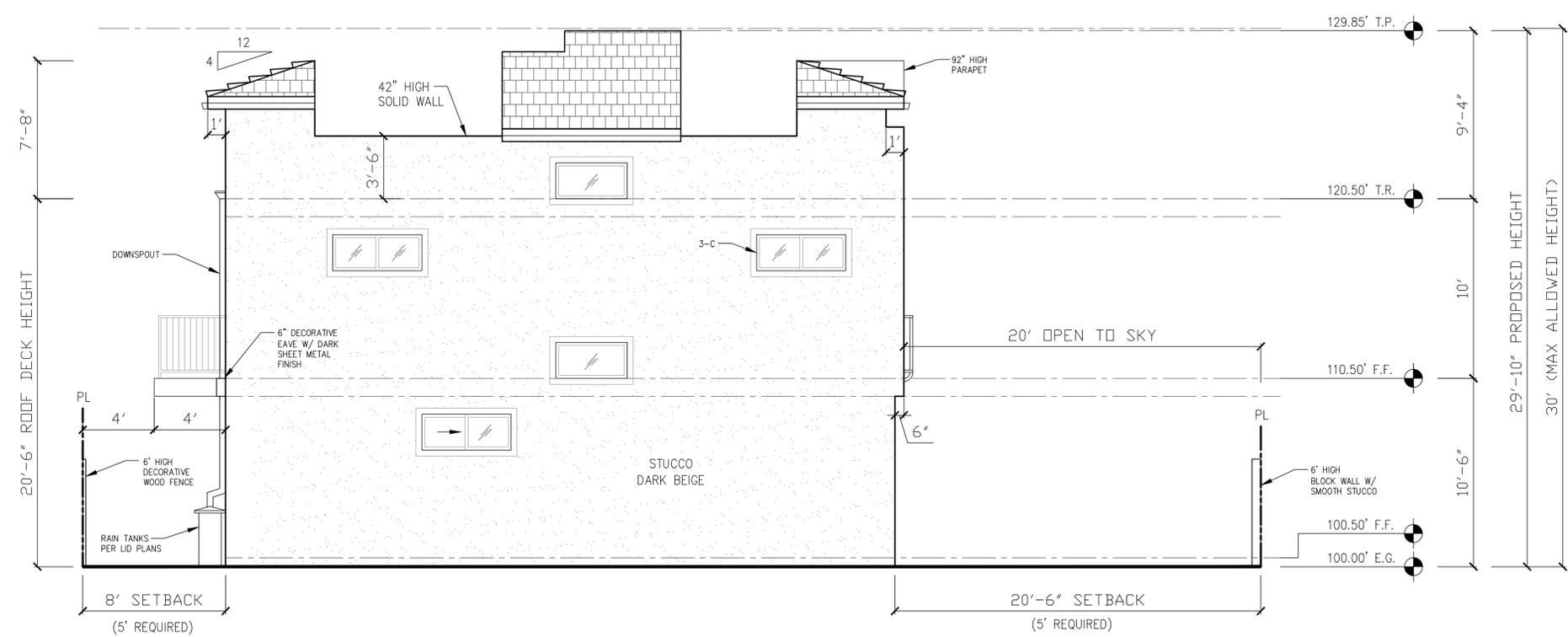
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 6  
EAST / WEST  
ELEVATIONS**

Designer : HS  
Manager : \_\_\_\_\_  
Start Date : 01/25/21  
Job No : 21-044  
Scale : \_\_\_\_\_  
Drawing No : \_\_\_\_\_

AUGUST 23, 2021

A-6.11



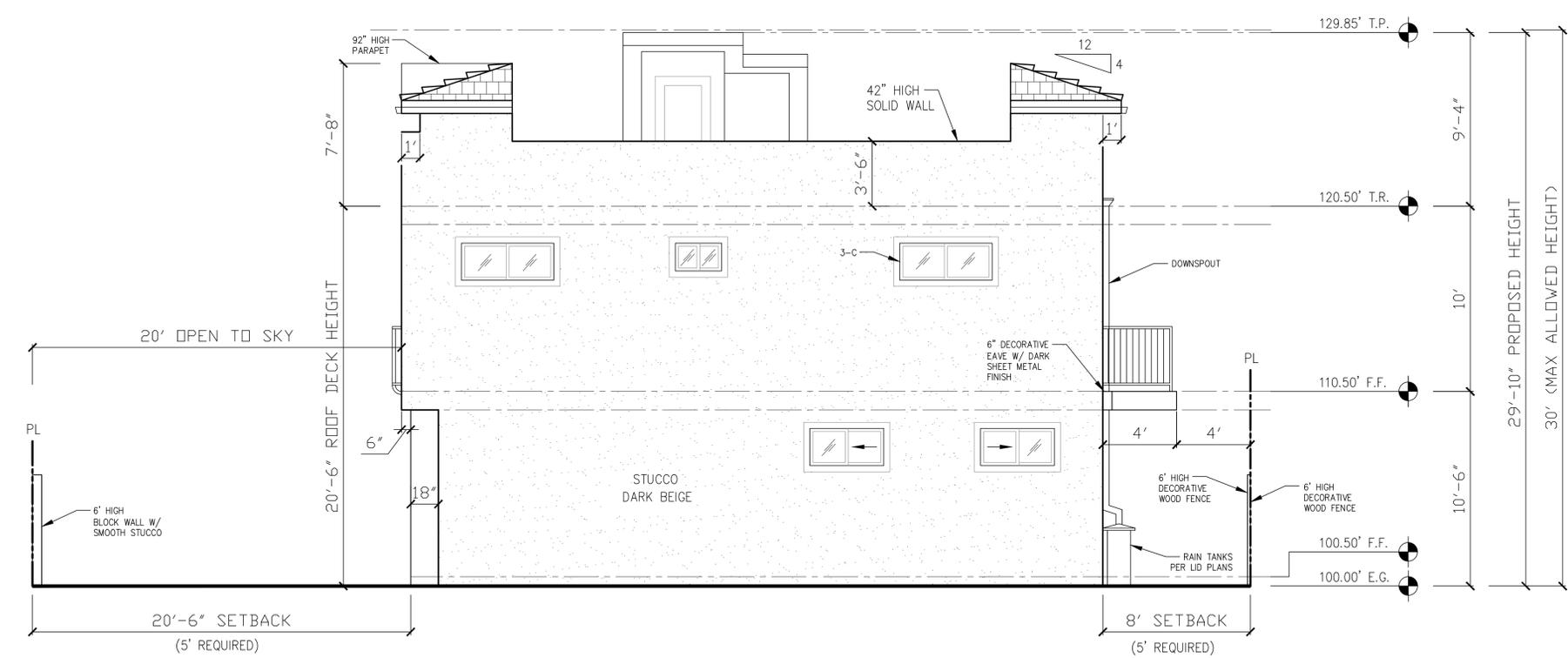
**UNIT 6 – EAST ELEVATION**  
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

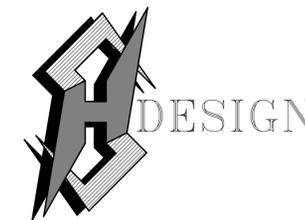
NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

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**UNIT 6 – WEST ELEVATION**  
1/4" = 1'-0"



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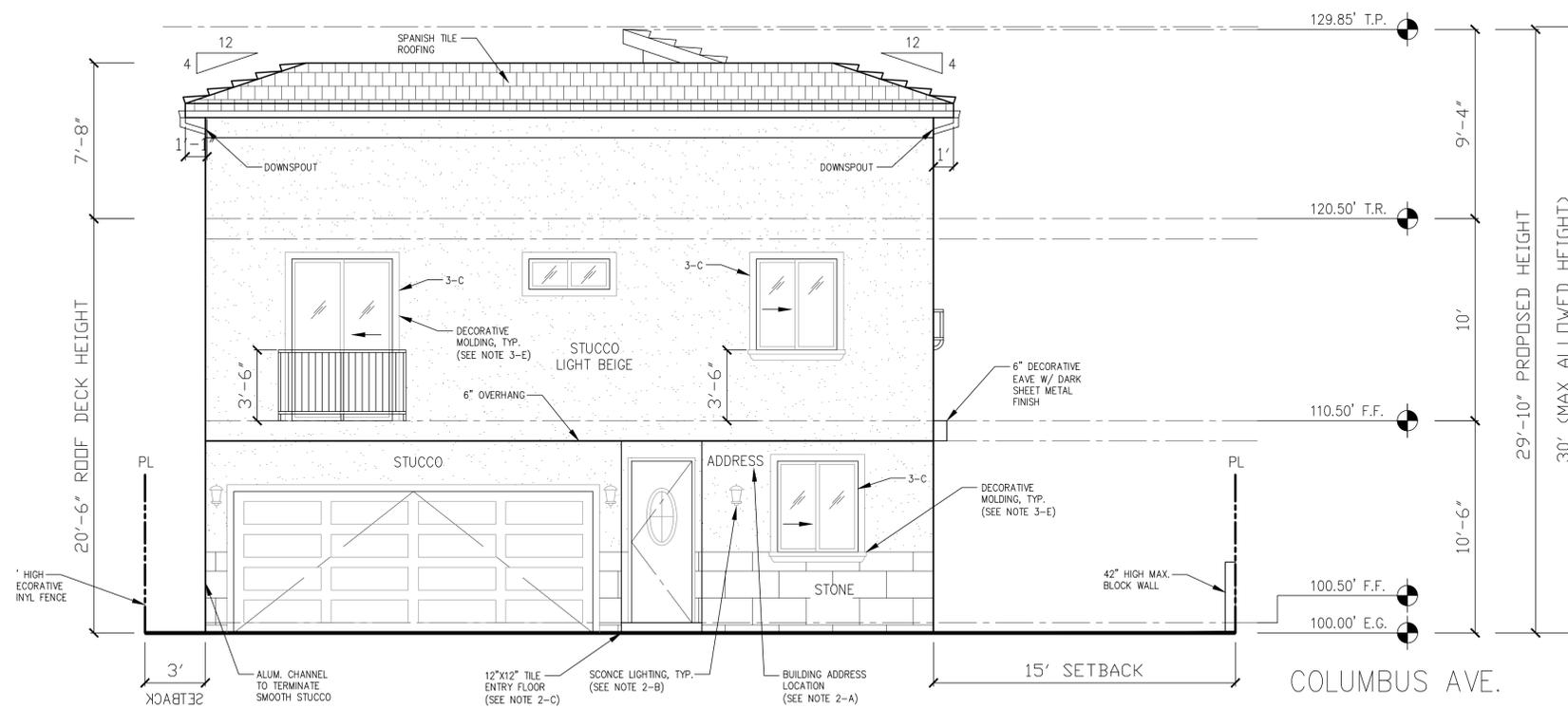
NEW 7 SMALL LOT SUBDIVISION  
FOR  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**UNIT 7  
 NORTH / SOUTH  
 ELEVATIONS**

Designer : HS  
 Manager :  
 Start Date : 01/25/21  
 Job No : 21-044  
 Scale :  
 Drawing No :

AUGUST 23, 2021

A-6.12



**UNIT 7 – NORTH ELEVATION**

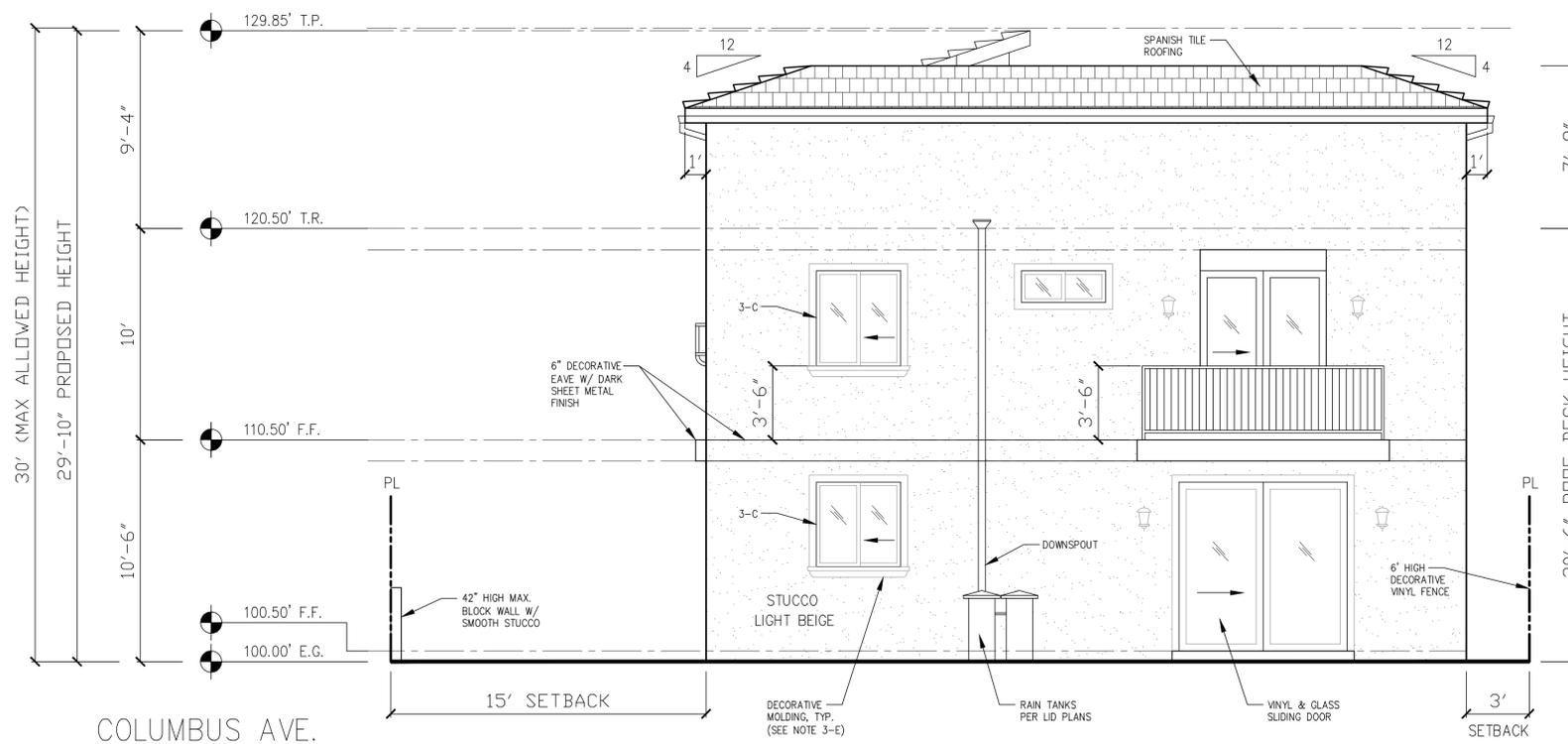
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

**NOTES:**

- 2-A: BUILDING ADDRESS OR UNIT IDENTIFICATION IN CONTRASTING COLOR TO BE VISIBLE, TYP.
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- 3-E: WINDOW MOLDING TO BE PROVIDED.



**UNIT 7 – SOUTH ELEVATION**

1/4" = 1'-0"



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Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
FOR

9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :

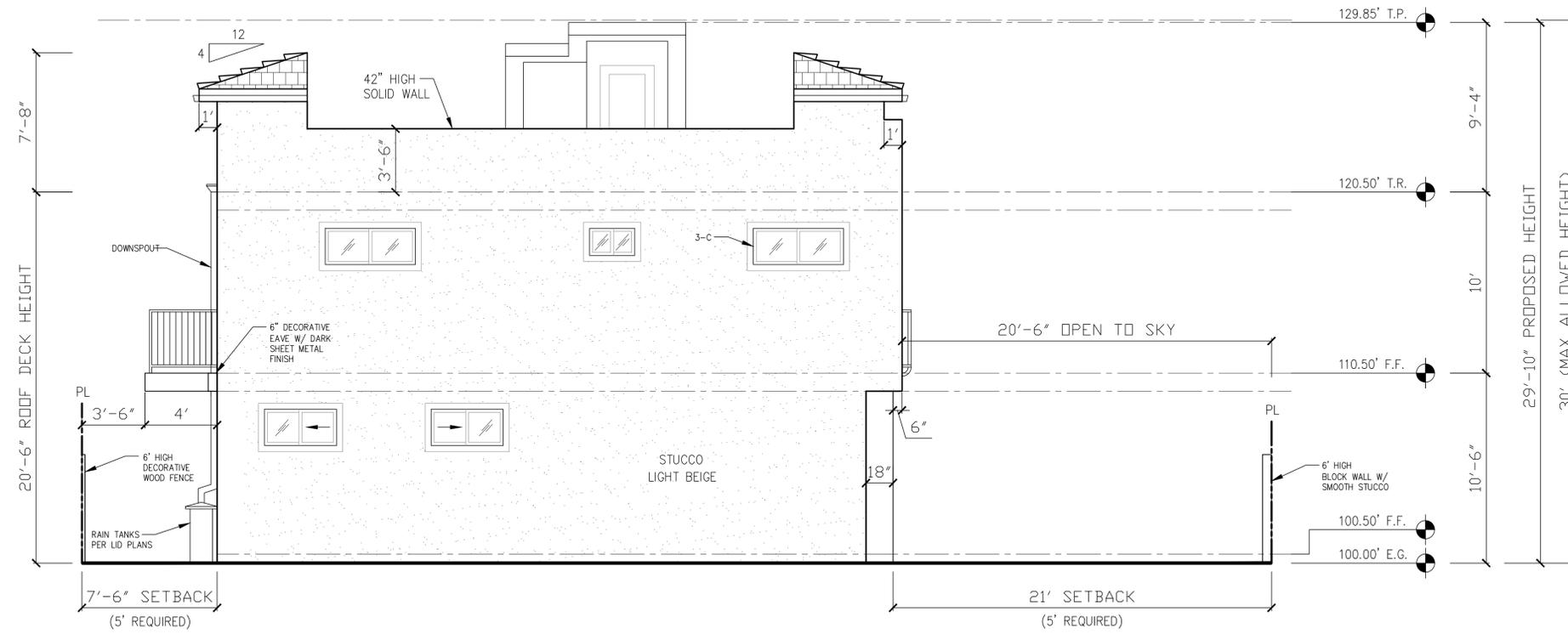
UNIT 7  
EAST / WEST  
ELEVATIONS

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :

Drawing No :

A-6.13

AUGUST 23, 2021



UNIT 7 - EAST ELEVATION

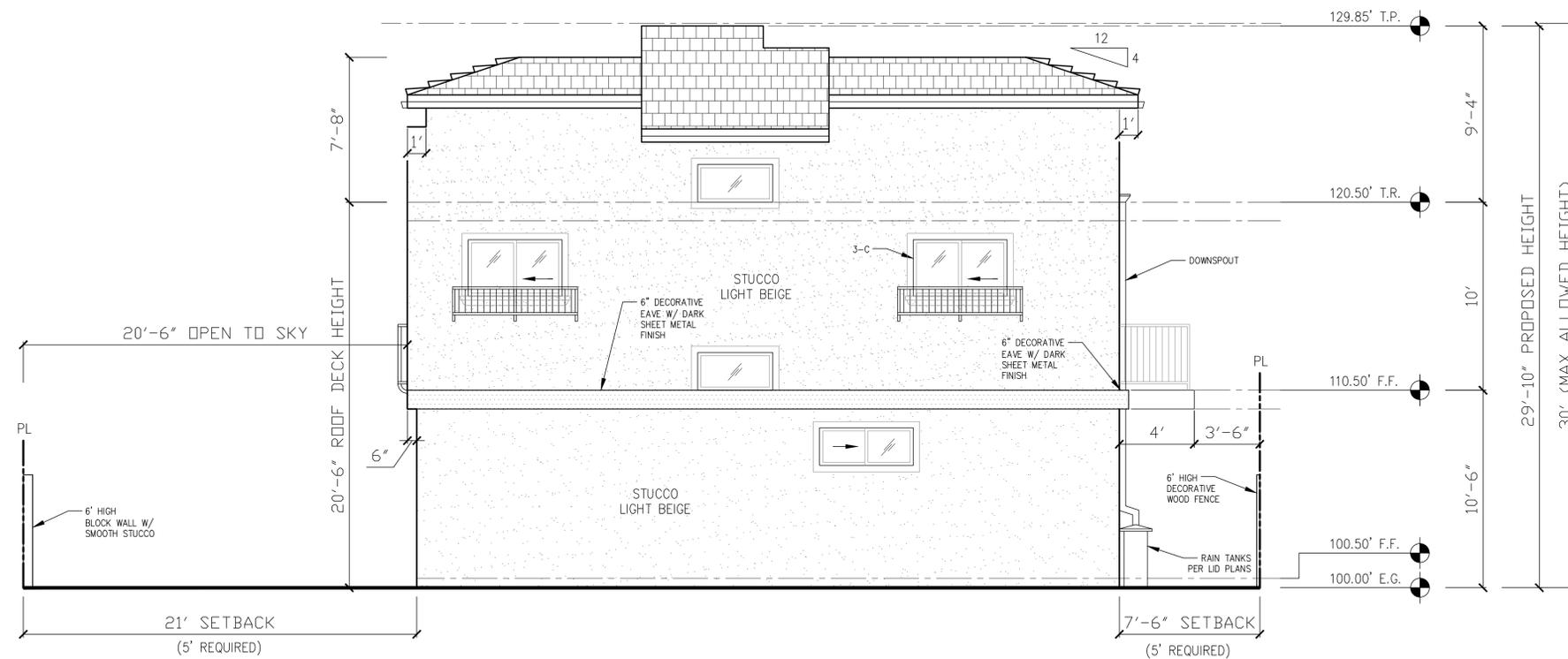
1/4" = 1'-0"

LID NOTE: ALL DOWNSPOUTS TO DRAIN INTO RAIN TANKS.

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

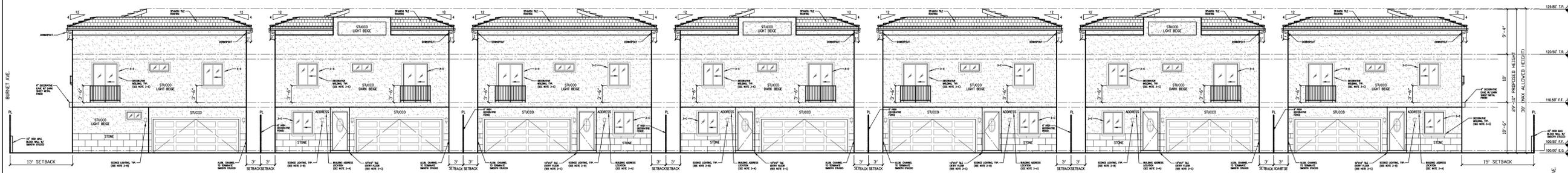
NOTES:

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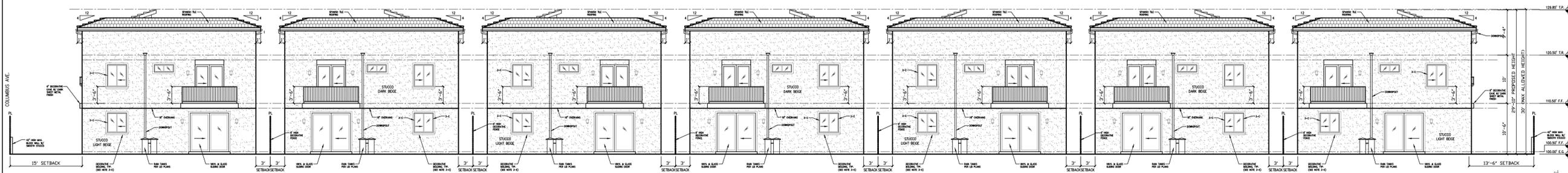
UNIT 7 - WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION (UNITS 1-7)  
1/4" = 1'-0"

NOTE: STONE FACADE AT GARAGE SHALL DIFFER EVERY OTHER UNIT.

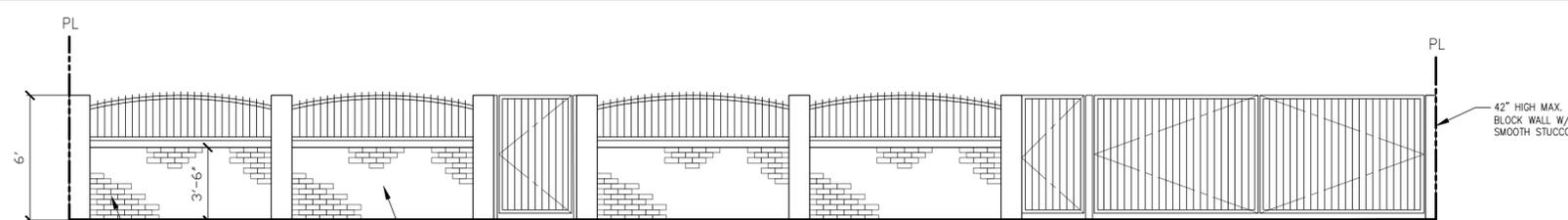


SOUTH ELEVATION (UNITS 1-7)  
1/4" = 1'-0"

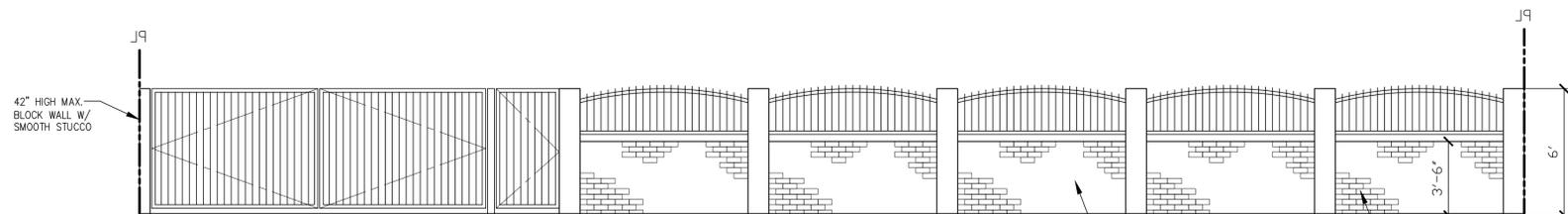
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- 3-E: WINDOW MOLDING TO BE PROVIDED.



BURNET AVE.



COLUMBUS AVE.

GATE / FENCING ELEVATIONS  
1/4" = 1'-0"

Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
FOR

9363 N. BURNET AVE.

9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
FULL NORTH &  
SOUTH ELEVATIONS

Designer : HS  
Manager :  
Start Date : 01/25/21  
Job No : 21-044  
Scale :  
Drawing No :

AUGUST 23, 2021

A-6.14

**SPECIAL HAZARDS**

GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (2406.4)

- a. INGRESS AND EGRESS DOORS.
- b. PANELS IN SLIDING OR SWINGING DOORS
- c. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
- d. IF WITHIN 2' VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE
- e. IN WALL ENCLOSING STAIRWAY LANDING.
- f. GLAZING 5'-0" FROM TOP OR BOTTOM OF STEPS WITH BOTTOM EDGE LESS THAN 60" ABOVE WALKING SURFACE.

**U. SECURITY REQUIREMENTS**

**General:**

- 1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. 91.6706
- 2. Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8ft. of the utility pole or similar structures. 91.6707

**DOORS:**

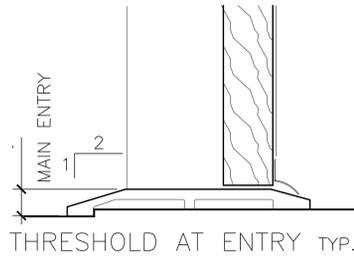
- 3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbit to the jamb. 91.6709.4
- 4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. 91.6708
- 5. All pin-steel door hinges accessible from outside shall have min. 1/4" dia. Steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. 91.6709.5, 91.6709.7
- 6. Provided dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Locks must be open able from inside without key, special knowledge or special effort (latch not required in B, F, and S occupancies. 91.6709.2)
- 7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 2". 91.6709.2
- 8. The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
- 9. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. 91.6709.1 item 2
- 10. Sliding doors shall be provided with device in the upper channel of the moving panel in the closed or partially open position. 91.6710.
- 11. Sliding doors shall be equipped with locking devices and shall be so constructed and installed that tests specified in 91.6717.1
- 12. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. 91.6711
- 13. Provide metal guides at top and bottom of metal accordion gate or grille-type doors and cylinder locks or padlocks. Cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. 91.6712

**GLAZING:**

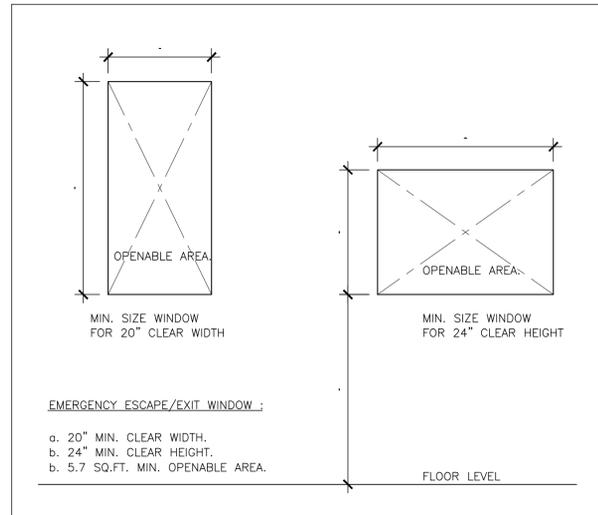
- 14. In B, F, M, and S occupancies, panes of glazing with at least one dimension greater than 5 in. but less than 48 in. shall be construction of tempered or approved burglary-resistant material or protected with metal bars or grilles. 91.6714?A
- 15. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of the section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. 91.6713
- 16. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. 91.6715.3
- 17. Other open able windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. 91.6715.2
- 18. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of moving panel in the closed or partially open position. 91.6715.1
- 19. Sliding windows shall be equipped with locking device and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6717.2
- 20. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. 91.6715.4

**OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:**

- 21. All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. 91.6716
- 23. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC) OR TO THE LOCATION OF THE HOOK-UP THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WEHTER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE RO COMPLY MAY CAUSE COSNTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 24. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIFIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.



THRESHOLD AT ENTRY TYP.

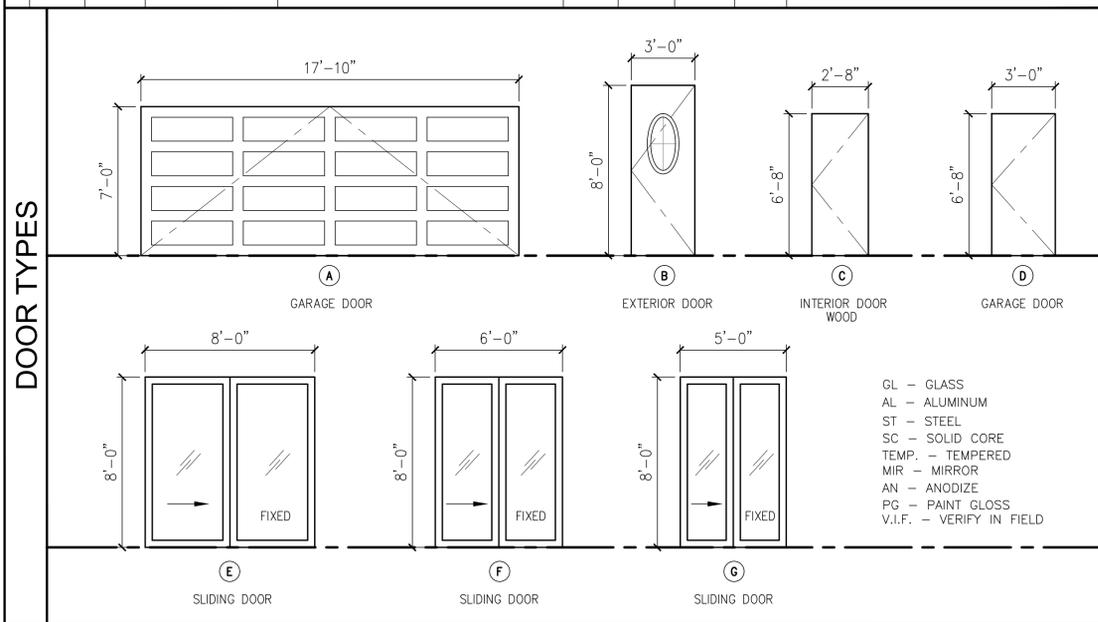


EMERGENCY ESCAPE/EXIT WINDOW :

- a. 20" MIN. CLEAR WIDTH.
- b. 24" MIN. CLEAR HEIGHT.
- c. 5.7 SQ.FT. MIN. OPENABLE AREA.

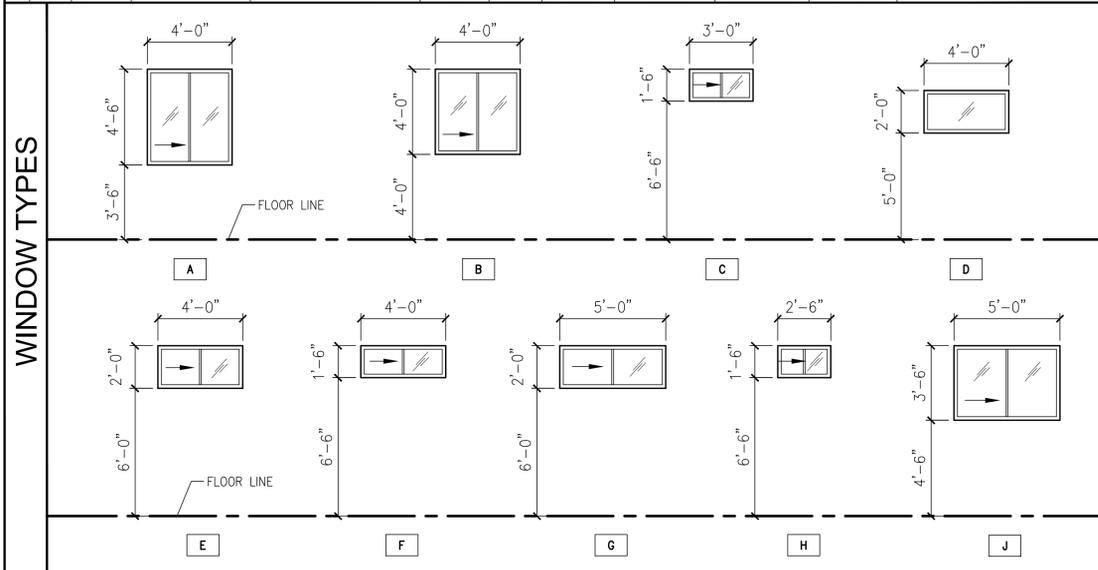
**DOOR SCHEDULE**

QTY	ID	WIDTH x HEIGHT	LOCATION	TYPE	THICK	FINISH	FRAME	REMARKS
7	D-1	17'-10"x7'-0"	GARAGE	A				GARAGE DOOR
7	D-2	3'-0"x8'-0"	MAIN ENTRY	B				ENTRY DOOR WITH GLASS
77	D-3	2'-8"x6'-8"	INTERIOR DOORS	C				
7	D-4	3'-0"x6'-8"	GARAGE	D				20 MIN SOLID CORE SELF CLOSING DOOR
7	D-5	8'-0"x8'-0"	LIVING ROOM	E				TEMPERED GLASS SLIDING DOOR
7	D-6	6'-0"x8'-0"	MASTER BEDROOM BALCONY	F				TEMPERED GLASS SLIDING DOOR
7	D-7	5'-0"x8'-0"	BEDROOM	G				TEMPERED GLASS SLIDING DOOR



**WINDOW SCHEDULE**

QTY	ID	WIDTH/HEIGHT	LOCATION	EGRESS	TYPE	GLAZING	FRAME MATL	FRAME FIN	HDR. (HT.)	REMARKS
29	W-1	4'-0"x4'-6"	BEDROOMS	YES	A	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDING / EGRESS
7	W-2	4'-0"x4'-0"	KITCHEN	NO	B	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
1	W-3	3'-0"x1'-6"	UNIT 1 - BATH 1	NO	C	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
14	W-4	4'-0"x2'-0"	STAIRS	NO	D	DUAL	VINYL	DARK ANOD.	7'-0"	FIXED
12	W-5	4'-0"x2'-0"	UNITS 2-7 - LIVING	NO	E	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
14	W-6	4'-0"x1'-6"	BATH 2	NO	F	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
31	W-7	5'-0"x2'-0"	BEDROOMS / DINING	NO	G	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
7	W-8	2'-6"x1'-6"	MASTER BATH	NO	H	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND
4	W-9	5'-0"x3'-0"	BEDROOMS	NO	J	DUAL	VINYL	DARK ANOD.	8'-0"	SLIDIND



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Revisions : Date :


NEW 7 SMALL LOT SUBDIVISION  
 FOR  
**9363 N. BURNET AVE.**  
 9363 N. BURNET AVE. NORTH HILLS, CA 91343

Drawing Content :  
**DOOR / WINDOW SCHEDULE**

Designer : HS  
 Manager :  
 Start Date : 01/25/21  
 Job No : 21-044  
 Scale :  
 Drawing No :

AUGUST 23, 2021

A-7.0

**TREE LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	* <i>Geijera parviflora</i>	Australian Willow	24"box	5		low 0.3
⊙	* <i>Lophostemon confertus</i>	Brisbane Box	24"box	6		low 0.3

**SHRUBS AND GROUND COVER LEGEND**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊙	<i>Achillea m. 'Terra cotta'</i>	Common Yarrow	5-gal	24"oc		low 0.3
⊙	* <i>Aloe striata</i>		1-gal	8		low 0.3
⊙	* <i>Euphorbia tirucalli 'Sticks on Fire'</i>	Red Pencil Tree	5-gal	8		low 0.3
⊙	<i>Parthenocissus tricuspidata</i>	Boston Ivy	5-gal	38	train to wall	med 0.5
⊙	<i>Portulacaria afra 'Prostrate Form'</i>	Dwarf Elephant Food	5-gal	5'oc		low 0.3
⊙	* <i>Senecio cylindricus</i>	Narrow-Leaf Chalksticks	5-gal	6		low 0.3
⊙	<i>Dymondia margaritae</i>	Silver Carpet	1-gal	10'oc		low 0.3
⊙	* <i>Westringia f. 'Wynabbie Gem'</i>	Coast Rosemary	5-gal	7		low 0.3

\* Points claimed for low water

LANDSCAPE AREA: 3,627 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

All trees to be planted with commercial root barriers. 3" deep shredded Cedar bark to spread between plants.

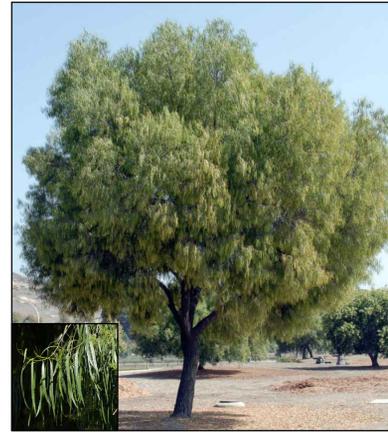
NOTE:  
All groundcover areas where plants are 3'oc or greater to have 2 layers of geotextile fabric in 2 different directions geotextile fabric installed 3" below finished grade w/ 3" shredded bark above to eliminate weed growth.

NOTE:  
Waterproofing and drains in planters by others.

Landscape Points		Water Management Points	
Total square footage	20,921.00 sf	Total square footage of site	20,921.00 sf
Total number of points required for site	20	Total number of points required for site	300
<b>Detail of points</b>		<b>Detail Of Points</b>	
Vines on walls	8 L-1	Points 2 per plant 42 plants	84 L-1
Flowering vines on walls	5 L-1	Use of reclaim water	150 L-1
Conservation of existing tree	8 L-1	Drip system w/ flow control	75 L-2
<b>TOTAL POINTS</b>	<b>21</b>	<b>TOTAL POINTS</b>	<b>309</b>

**TREE PROTECTION NOTES:**

- Prior to any work, including but not limited to demolition, grading or construction, contractor shall install a temporary chain-link fence with orange construction fence attached to the chain-link fence around the Oak tree at the drip line or the farthest point possible from the trunk of the tree(s). The fence shall be maintained in a vertical, upright position, around the trees until written authorization is received from the City.
- Prohibit trenching or continuous digging, grading (removing or adding soil) or storage of equipment or building materials within the drip line of the Oak tree. Footings, which encroach within the drip line, are required to be pier and beam design and construction. (Drip line shall be defined as that area where the branches stop or terminate and with respect to the soil and feeder roots.)
- Sewer, plumbing, irrigation and electrical lines shall be routed away from the drip line of the Oak tree. Any work within the drip line shall be hand dug, under the supervision of an I.S.A. Certified Arborist and shall avoid cutting roots two inches in diameter or larger.
- Pruning or cutting of roots or branches shall be done under the supervision of an I.S.A. Certified Arborist by the International Society of Arboriculture. Roots, which are exposed, shall be pruned with a sharp pruning tool back to the soil line and kept moist and covered with burlap, until backfill can occur. Pruning of roots and branches shall be done according to ANSI A-300 Pruning Standards.
- Prohibit dumping of concrete, mortar, cement, stucco, paints, solvents, excess soil and other foreign materials within the drip line of the tree(s). Contractor shall take such steps as necessary to protect Oak tree roots, bark, trunk, branches and leaves from injury during construction.
- Should the protected Oak tree die during construction the City will most likely require some form of Oak tree replacement as mitigation for the loss of the tree. An I.S.A. Certified Arborist can assist you with the selection and tagging of the replacement Oak trees of the tree nursery to insure that they are high quality trees.
- Landscape and irrigation plans should be reviewed by an I.S.A. Certified Arborist to insure that these plans are compatible with the growing requirements of native Oak trees. Avoid planting turf or ground cover under the canopy of native Oak trees. Sparsely planted California native shrubs may be planted near the perimeter of the Oak tree canopy. A layer of natural mulch such as wood chips or landscape bark should be applied at a depth of from 2-4 inches over the natural soil under the Oak tree canopy. Old fallen Oak tree leaves should be permitted to remain. Mulch should not be permitted to touch the trunk of the Oak tree a 6 to 12 inch separation should be maintained.



*Geijera parviflora* / Australian Willow



*Lophostemon confertus* / Brisbane Box



*Achillea m. 'Terra cotta'* / Common Yarrow



*Aloe striata*



*Euphorbia t. 'Sticks on Fire'* / Red Pencil Tree



*Parthenocissus tricuspidata* / Boston Ivy



*Portulacaria afra 'Prostrate Form'* / Dwarf Elephant Food



*Senecio cylindricus* / Narrow-Leaf Chalksticks



*Dymondia margaritae* / Silver Carpet



*Westringia f. 'Wynabbie Gem'* / Coast Rosemary

**PLANTING NOTES**

- DRAWING IS DIAGRAMMATIC: CONTRACTOR TO VERIFY ALL LOCATIONS AND CONDITIONS ON SITE. COUNT ALL PLANT MATERIAL BEFORE BIDDING.
- CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS ON SITE AND LOCATE ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR TO REPAIR AT HIS OWN EXPENSE ALL PROPERTY DAMAGE WHICH OCCURS DURING PROJECT INSTALLATION.
- NOTE ADDITIONAL REMARKS ON SPECIFIC PLANTS IN PLANT LIST.
- ALL EXISTING PLANT MATERIAL TO BE REMOVED EXCEPT WHERE NOTED ON PLAN.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR 90 DAYS FROM THE DATE OF ACCEPTANCE BY OWNER. PALM TO BE GUARANTEED FOR THE PERIOD OF 1 YEAR.
- FINISH GRADE TO BE 2" BELOW ALL WALKS, CURBS, AND PAVING.
- ALL PLANTED AREAS SHALL RECEIVE THE FOLLOWING AMENDMENTS PER 1,000 SQ. FT. OF SURFACE AREA. ROTO-TILL AMENDMENTS TO A DEPTH OF 6"

\*150 LBS. GRO-POWER  
\*3 CU YDS NITROGENIZED, MINERALIZED FIR BARK  
\*ADD 8 LBS OF GRO-POWER CONTROLLED RELEASE 12-8-8 PER CU YD OF MIX.

9. PLANT HOLE TO BE TWICE AS WIDE AND DEEP AS THE PLANT ROOT BALL. BACKFILL AND COMPACT TO 80% SOIL OF SITE AND 20% FIR BARK AS DEFINED IN #8. PROVIDE GRO-POWER PLANT TABLETS AT THE FOLLOWING RATES:

5 GAL	6-9
24" box	14-16

PLACE RECOMMENDED TABLETS BETWEEN THE BOTTOM AND THE TOP OF THE ROOT BALL BUT NO HIGHER THAN 1/3 OF THE WAY UP TO THE TOP OF THE ROOT BALL. SPACE TABLETS EQUALLY AROUND THE PERIMETER OF THE ROOT BALL APPROXIMATELY 2" FROM THE ROOT TIPS. PALM TREES ARE NOT TO RECEIVE TABLETS.

10. ALL PROPOSED SHRUBS AND GROUND COVER AREAS ARE TO BE TREATED WITH A PRE-EMERGENT WEED KILLER (EPTAM / RONSTAR). APPLY PER MANUFACTURER'S SPECIFICATIONS: A) IMMEDIATELY AFTER PLANTING, B) AT THE BEGINNING OF THE MAINTENANCE PERIOD, AND C) AT THE END OF THE MAINTENANCE PERIOD.

11. CONTRACTOR TO INSTALL AND MAINTAIN LANDSCAPE PLANTING IN ACCORDANCE WITH THE GOVERNING AGENCY'S GUIDELINES AND SPECIFICATIONS UNLESS NOTED OTHERWISE IN THESE NOTES OR ON THE PLANS.

12. SOIL SAMPLES TAKEN FROM VARIOUS LOCATIONS IN THE PLANTING AREAS WILL BE SENT TO A SOIL LAB FOR PROFESSIONAL ANALYSIS AND RECOMMENDATIONS FOR SOIL IMPROVEMENT. CONTRACTOR TO FOLLOW SOIL TESTING RECOMMENDATIONS.

13. USE OF CLASS I OR CLASS II COMPOST PRODUCED USING CITY ORGANIC MATERIALS (TOPGRO®) IN A MAJORITY OF LANDSCAPED AREAS

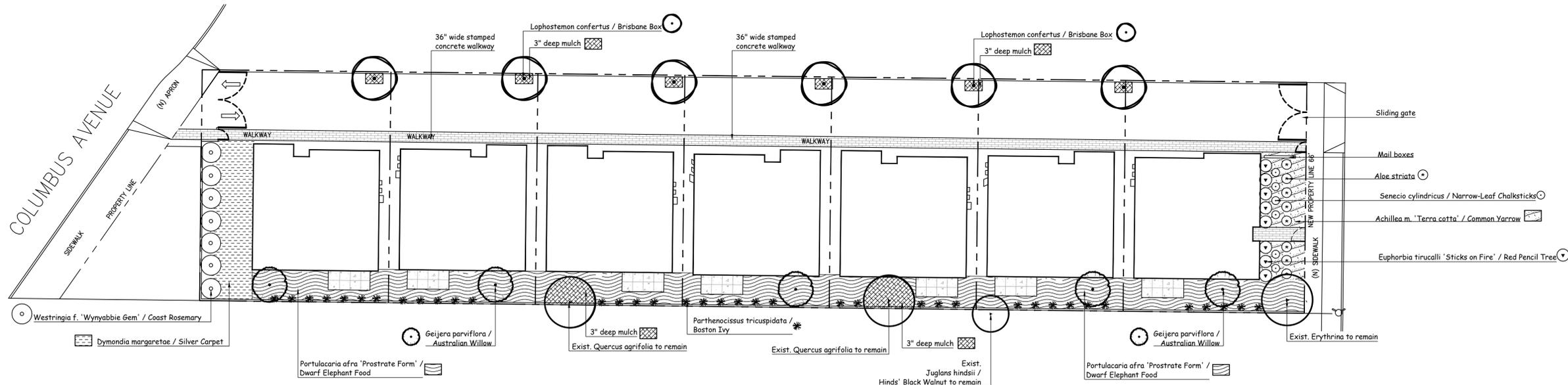
REVISIONS	DATE
1.	5.11.20
2.	2.15.21
3.	2.16.21
4.	4.13.21
5.	6.16.21
6.	5.19.22
7.	
8.	
9.	



ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaelir.com

9363 BURNET AVE.  
NORTH HILLS, CA 91343

**PLANTING PLAN**



DATE: FEB. 12, 2020  
SCALE: 1/16" = 1'-0"  
JOB NUMBER: 215919  
DRAWN BY:

Case No. APCNV-2018-2850-ZC

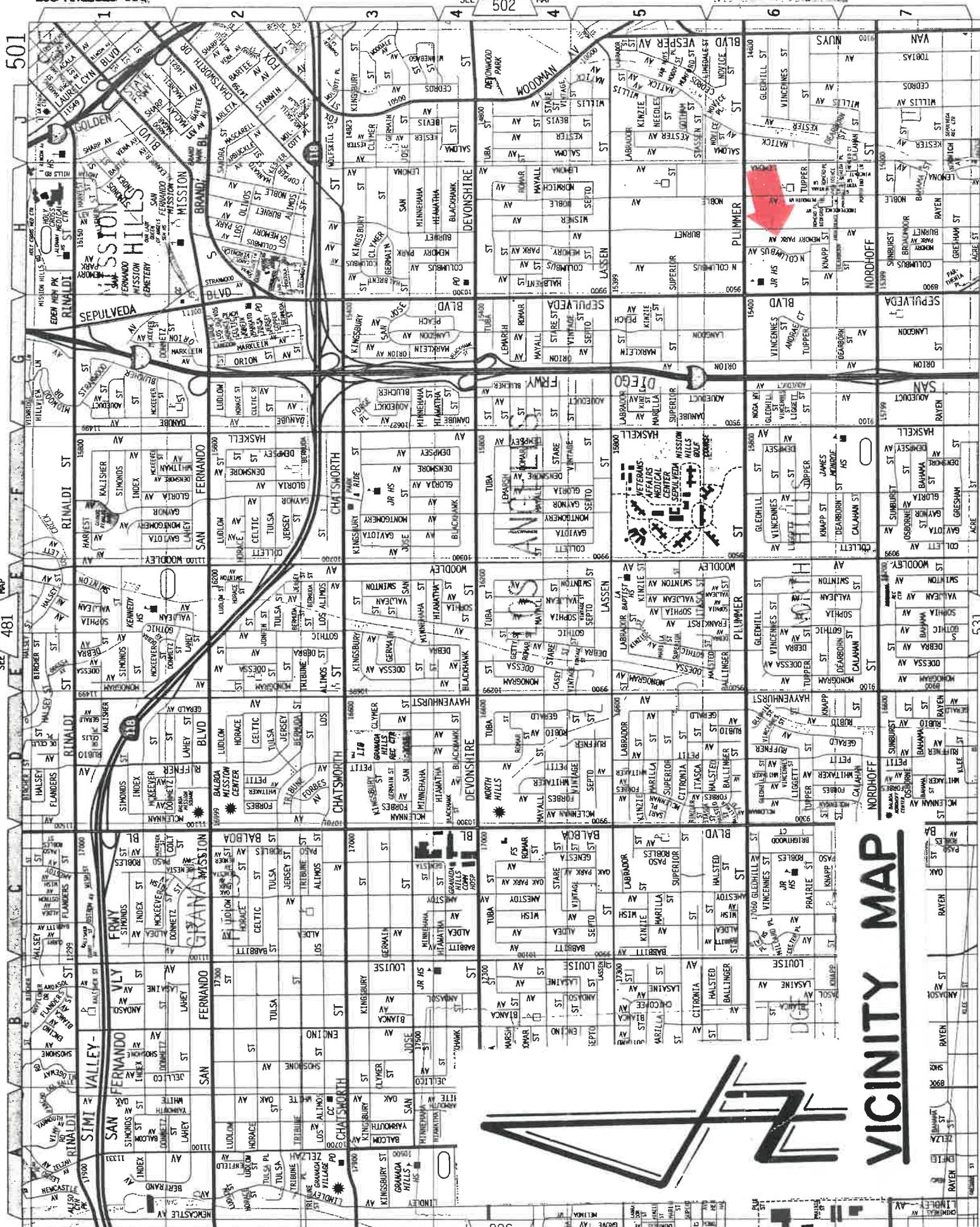
# **EXHIBIT B**

## **Maps**

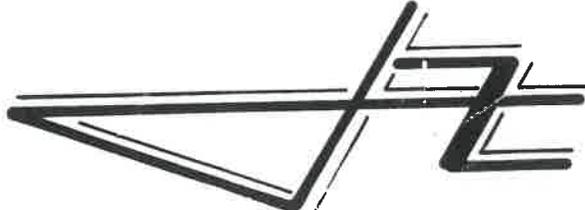
501

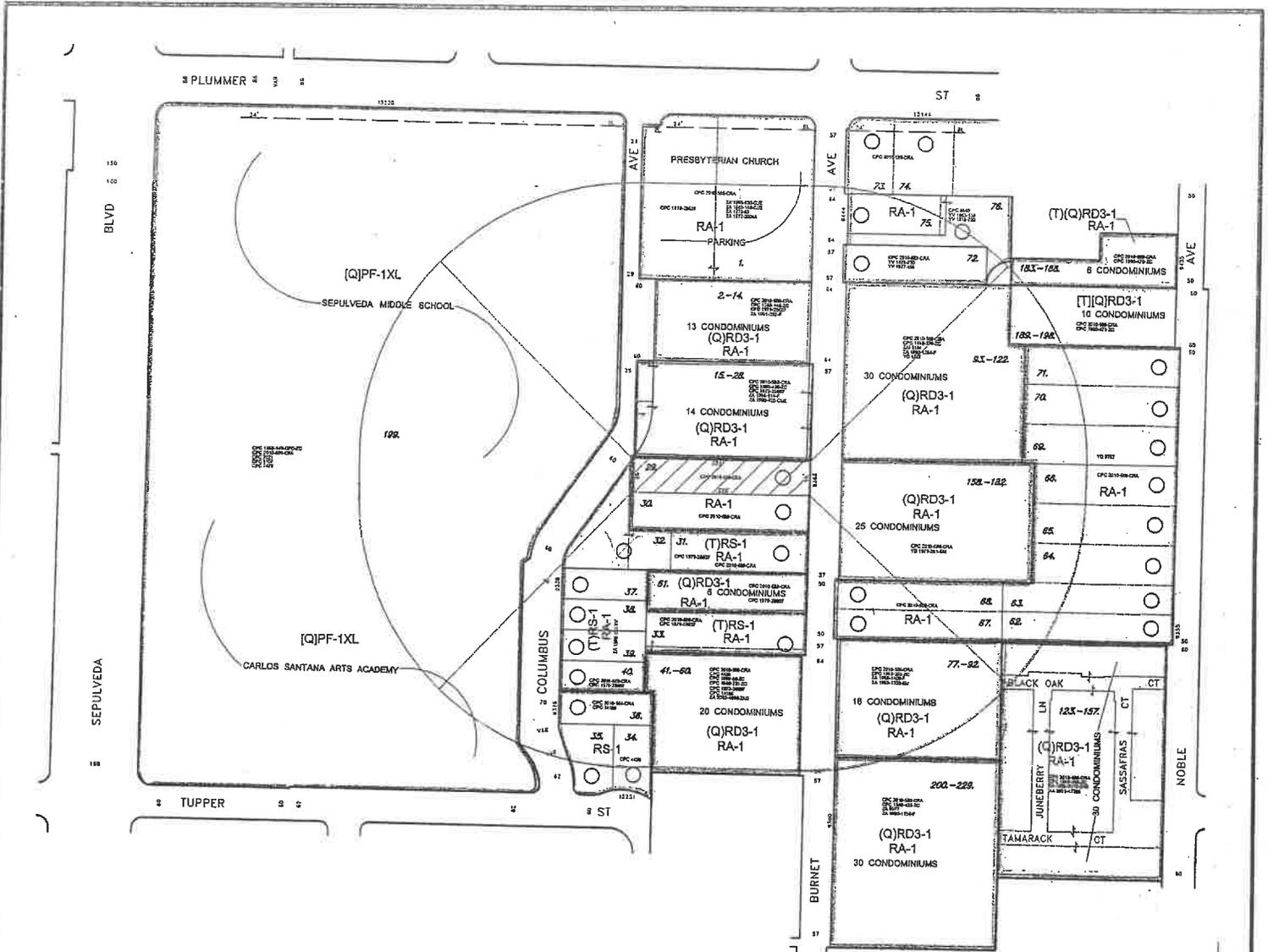
SEE 481 MAP

SEE 531 MAP



# VICINITY MAP





**LEGAL:** PORTION 47, SEC 21, T2N R15W, SUBD. NO. 1 OF THE PROPERTY OF THE PORTER LAND & WATER CO., M.R. 31-3-6. SEE APPLICATION.

**OWNER/APPLICANT**  
 ZION HEN  
 5544 YOLANDA AVE #307  
 TARZANA CA 91356

**REPRESENTATIVE**  
 MOHEB GORGY  
 1545 VICTORY BLVD. #102  
 GLENDALE CA 91201  
 (818) 507-5747

C.D. 7  
 C.T. 1171.01  
 P.A. NORTH HILLS



**GC MAPPING SERVICE, INC.**  
 3055 WEST VALLEY BOULEVARD  
 ALHAMBRA CA 91803  
 (626) 441-1080 FAX (626) 441-8850

**VESTING TENTATIVE TRACT MAP NO. 82084**

**ADDRESS**  
 9363 BURNET AVENUE  
  
 0.49 NET AC.

**CASE NO.**  
 6-5-2020  
**DATE:** 03-12-2018  
**SCALE:** 1" = 100'  
**USES:** FIELD  
**D.M.** 198 B 145  
**T.B.** PAGE: 501. GRID: H-6

Case No. APCNV-2018-2850-ZC

**EXHIBIT C**  
**ENV-2018-2848-CE**

COUNTY CLERK'S USE

CITY OF LOS ANGELES  
OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 395  
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT  
**NOTICE OF EXEMPTION**  
(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS  
APCNV-2018-2850-ZC, VTT-82084-SL / Zone Change & Vesting Tentative Tract Map

LEAD CITY AGENCY  
**City of Los Angeles (Department of City Planning)**

CASE NUMBER  
ENV-2018-2848-CE

PROJECT TITLE  
9363 N. Burnet Avenue, North Hills, CA 91343

COUNCIL DISTRICT  
7 - Rodriguez

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)  
**9363 N. Burnet Avenue (Plummer Street & Knapp Street)**

Map attached.

PROJECT DESCRIPTION:  
To permit the subdivision of one approximately 21,555 gross square-foot lot into seven small lots for the construction of seven three-story (including a roof deck) single-family residential dwellings with a total of 14 parking spaces and a zone change from RA-1 to (T)(Q)RD3-1 to allow for the proposed density.

Additional page(s) attached.

NAME OF APPLICANT / OWNER:  
**Zion Hen**

CONTACT PERSON (If different from Applicant/Owner above)  
**Moheb Gorgy**

(AREA CODE) TELEPHONE NUMBER | EXT.  
**(818) 507-5747**

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)  
STATE CEQA STATUTE & GUIDELINES

STATUTORY EXEMPTION(S)  
Public Resources Code Section(s) \_\_\_\_\_

CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)  
CEQA Guideline Section(s) / Class(es) **Section 15332 / Class 32**

OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b) )  
\_\_\_\_\_

JUSTIFICATION FOR PROJECT EXEMPTION:  Additional page(s) attached  
(See attached pages)

None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.  
 The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.  
If different from the applicant, the identity of the person undertaking the project.

**CITY STAFF USE ONLY:**

CITY STAFF NAME AND SIGNATURE Sarah Hounsell	STAFF TITLE City Planner
ENTITLEMENTS APPROVED Zone Change & Vesting Tentative Tract Map	

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN  
PRESIDENT

CAROLINE CHOE  
VICE-PRESIDENT

HELEN CAMPBELL  
JENNA HORNSTOCK

HELEN LEUNG

YVETTE LOPEZ-LEDESMA

KAREN MACK

DANA M. PERLMAN

RENEE DAKE WILSON

**CITY OF LOS ANGELES  
CALIFORNIA**



ERIC GARCETTI  
MAYOR

**EXECUTIVE OFFICES**

200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
(213) 978-1271

VINCENT P. BERTONI, AICP  
DIRECTOR

SHANA M.M. BONSTIN  
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP  
DEPUTY DIRECTOR

LISA M. WEBBER, AICP  
DEPUTY DIRECTOR

## JUSTIFICATION FOR PROJECT EXEMPTION CASE NO. ENV-2018-2848-CE

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On April 25, 2022, the Planning Department determined that the City of Los Angeles Guidelines for the implementation of the California Environmental Quality Act of 1970 and the State CEQA Guidelines designate the subject project as Categorical Exempt under Article 19, Section 15332, Class 32.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- (c) The project site has no value as habitat for endangered, rare or threatened species;
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- (e) The site can be adequately served by all required utilities and public services.

To permit the subdivision of one approximately 21,554 gross square-foot lot into seven small lots for the construction of seven two-story single-family residential dwellings with a total of 14 parking spaces and a zone change from RA-1 to (T)(Q)RD3-1 to allow for the proposed density of one dwelling per 3,000 square feet of lot area.

The subject site is a level, regular shaped lot consisting of approximately 21,555 gross square feet of lot area. The site is currently zoned RA-1, and the applicant is requesting a Zone Change to (T)(Q)RD3-1 to allow for the density of the subdivision of one-lot into seven small lots under Case No. VTT-82084-SL. The site is located on the west side of Burnet Avenue between Plummer Street to the north and Knapp Street to the south. The northwestern corner of the subject site abuts Columbus Avenue.

Burnet Avenue will provide vehicular and pedestrian access from the northeastern boundary of the site. Secondary pedestrian access will be provided from Columbus Avenue from the northwestern site boundary in conjunction with a proposed 22-foot easement from the adjacent lot. The gate will be for emergency fire access only.

The subject site is currently developed with an approximately 1,357 square foot single-family dwelling and garage. City records show that the existing structures were built in 1945. All of the

existing structures and three non-protected trees on site are proposed for removal. The applicant has proposed the maintain four trees including two protected species.

The proposed project would not have a significant effect on the environment. A “significant effect on the environment” is defined as “a substantial, or potentially substantial, adverse change in the environment) (CEQA Guidelines, Public Resources Code Section 21068). The proposed project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the City’s CEQA Thresholds Guide. These two documents establish guidelines and thresholds of significant impact and provide the data for determining whether the impacts of a proposed project reach or exceed those thresholds. From analysis of the proposed project, it has been determined that it is Categorically Exempt from environmental review pursuant to Chapter 3, Article 19, Section 15332 of the CEQA Guidelines (Class 32). The Class 32 Exemption is intended to promote infill development within urbanized areas.

It has been determined based on the whole of the administrative record that the project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15332 (Class 32), and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

### **CLASS 32 CATEGORICAL EXEMPTION**

The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of “In-fill Projects”. The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption as a result of meeting the five conditions listed below.

**(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations:**

The project site is located within the Mission Hills – Panorama City – North Hills Community Plan, which is one of 35 Community Plans that make up the Land Use Element of the General Plan. The Community Plan designates the subject property for Low Medium I Residential land uses corresponding to the corresponding zones of R2, RD3, RD4, RD5, RD6, RZ3, RZ4, RU, and RW1 Zones. The project proposes zoning from RA-1 to (T)(Q)RD3-1 which is consistent with the land use designation. The property is not located within a Hillside Area nor a Bureau of Engineering Special Grading Area. The property is not located within the boundaries of any other specific plan or interim control ordinance.

The project proposes to subdivide the site into six small lots pursuant to LAMC Section 12.22 C.27. The applicant is requesting a zone to change as the present RA Zone does not maximize the allowable density for the site. The project would comply with the applicable regulations of small lot developments and the LAMC, except where minor yard deviations were granted through the tentative tract map approval. These slight modifications of proposed yards, up to 20 percent deviations only, allow for the development of detached dwellings which better follows the development pattern of the neighborhood. The project would construct seven small lot homes – as proposed, the density, height, and other zoning attributes are consistent with the zone designation and with the Community Plan. As the project is the subdivision of land, the project would be required to comply. The project is consistent with the applicable general plan designation and all applicable general plan policies, as well as with applicable zoning designation and regulations.

**(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses:**

The project site is located in the Mission Hills – Panorama City – North Hills Community Plan area within Los Angeles city limits. The project site encompasses approximately 21,555 square feet of lot area (approximately 0.49 acres). The property is currently developed with a single-story single-family dwelling fronting Burnet Avenue. The project site is located in the North Hills East neighborhood and urbanized area in the Community Plan area. The vicinity consists of residential uses zoned (RD3, RS, RA, and [Q]PF-1XL in a 500-foot radius). The surrounding area is characterized by a mixture of single-family and detached multi-family condominium developments all within Height District 1. To the west across Columbus Avenue is the Sepulveda Middle School and Carlos Santana Arts Academy zoned [Q]PF-1XL and designed for Public Facilities by the Community Plan. The property is completely within Los Angeles City Limits framed by the major thoroughfares of Sepulveda Boulevard to the west, Tupper Street and Nordhoff Street to the south, and Plummer Street to the north. The project therefore will occur completely within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.

**(c) The project site has no value as habitat for endangered, rare or threatened species:**

The project site is located in an established and long-urbanized area. The subject property is currently developed with a single-story single-family dwelling unit and is fully improved. According to the Tree Report prepared by McKinley and Associates dated May 1, 2018, there are seven trees on the subject site, including five non-protected trees and two protected trees (two *Quercus agrifolia* or Coast Live Oaks on proposed Lots 3 and 5, native trees as defined by the Los Angeles Municipal Ordinance 186,873). Each of the two protected Coast Live Oak trees will be preserved in place. Three of the five non-protected trees are proposed for removal (*Ficus benjamina* or Weeping Chinese Banyan; *Callistemon viminalis* or Weeping Bottlebrush; *Walshingtonia filifera* or California Fan Palm). One non-protected *Erythrina caffra* or Coral Tree and one non-protected *Jungans hindsii* or Northern California Black Walnut will remain. Since the three non-protected trees proposed for removal are over 8-inches in diameter, the Tree Report recommends replacing each tree to be removed with one 24-inch box size tree. The landscape plans submitted by the applicant show the four trees to remain in place with the addition of ten 24-inch box size trees (three *Geijera parviflora* or Australian Willow and seven *Lophostemon confertus* or Brisbane Box). As recommended in the Tree Report, protective orange fencing will be around the four trees to be preserved. The project site is in an urbanized area with an existing residential development and four of the proposed trees on site are to remain. As such, the project site has no substantive value as a habitat for endangered, rare, or threatened species.

**(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality:**

**Traffic.** The project site is currently developed with a 1,357 square-foot one story residence. The project proposes the demolition of all existing structures, the subdivision of the existing lot into seven small lots and the construction of seven three-story (including a roof deck) small lot homes. Per the LADOT traffic studies manual and the L.A. CEQA Thresholds Guide, a Traffic Study is only required for development projects forecast to generate over 43 afternoon commuter peak hour trips, or if more than 500 daily trips will be generated or diverted/shifted. The construction and operation of six small lot homes is not expected to exceed either of these thresholds. The project is not expected to introduce a stationary noise source. The project proposes the creation of only 14 parking spaces (two-car attached garage per dwelling), which would all be accessible from the common

access driveway proposed on site and would not produce a substantial amount of vehicle trips to significantly impact traffic. Further traffic review may be required if the project adds more than 25 residential units, as prescribed by the LADOT however, the project proposes a net increase of just four units, and thus does not exceed this threshold either. As a result, the project will not have a significant impact relating to traffic. Based on this, the project will not have a significant impact relating to traffic.

**Noise.** The project must comply with the City of Los Angeles Noise Ordinance No. 144,331 and 161,574 and any subsequent ordinances which prohibit the emission or creation of noise beyond certain levels. The Ordinances cover both operational noise levels (i.e. post-construction), as well as any noise impact during construction. Section 41.40 of the LAMC regulates noise from demolition and construction activities and prohibits construction activity (including demolition) and repair work, where the use of any power tool, device, or equipment would disturb persons occupying sleeping quarters in any dwelling hotel, apartment, or other place of residence, between the hours of 9:00 p.m. and 7:00 a.m. Monday through Friday, and between 6:00 p.m. and 8:00 a.m. on Saturdays and holidays; all such activities are also prohibited on Sundays. Section 112.05 of the LAMC also specifies the maximum noise level of construction machinery that can be generated in any residential zone of the city or within 500 feet thereof. As the project is required to comply with the above ordinances and regulations, it will not result in any significant noise impacts. All construction-related noise impacts would be less than significant and temporary in nature.

The project will not generate permanent significant operational noise impacts and construction related noise would be less than significant. Noise occurring as a result of the construction of the project, including that from equipment and from haul trucks, would be temporary, ceasing upon project completion. The project would incorporate soundproofing and vibration controls to manage noise impacts for construction and grading activities. Due to the temporary duration of the development project as well as the noise mitigating efforts indicated above, the project's construction would not result in a significant effect on the environment.

The project is a residential development and will not generate permanent significant operational noise impacts. The project will result in a net increase of only four dwelling units and maintains the existing land use. Compliance with the applicable City ordinances and regulations will further limit the impacts of noise associated with residential uses such as air conditioning systems, conversation, house pets, and other ambient sounds to the extent feasible. Thus, overall, the project will not result in any significant permanent effects relating to noise.

**Air Quality.** The South Coast Air Quality Management District (SCAQMD) is the agency primarily responsible for comprehensive air pollution control in the South Coast Air Basin and reducing emissions from area and point stationary, mobile, and indirect sources. SCAQMD prepared the 2012 Air Quality Management Plan (AQMP) to meet federal and state ambient air quality standards. A significant air quality impact may occur if a project is inconsistent with the AQMP or would in some way represent a substantial hindrance to employing the policies or obtaining the goals of that plan. The proposed project for the construction of seven residential units will likely fall below what SCAQMD considers potentially significant thresholds under CEQA guidelines. As proposed, the project does not conflict with or obstruct the implementation of the AQMP and SCAQMD rules.

During construction, appropriate dust control measures would be implemented as part of the proposed project, as required by SCAQMD Rule 403 - Fugitive Dust. The proposed project will conform to Rule 403 control requirements including, but not limited to, applying

water in sufficient quantities to prevent the generation of visible dust plumes, applying soil binders to uncovered areas, reestablishing ground cover as quickly as possible, utilizing a wheel washing system to remove bulk material from tires and vehicle undercarriages before vehicles exit the Project Site, and maintaining effective cover over exposed areas.

Best Management Practices will be implemented that would include (but not be limited to) the following:

- Unpaved demolition and construction areas shall be wetted at least three times daily during excavation and construction, and temporary dust covers shall be used to reduce emissions and meets SCAQMD Rule 403;
- All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust;
- General contractors shall maintain and operate construction equipment to minimize exhaust emissions; and
- Trucks shall not idle but be turned off.

Therefore, potential impacts related to air quality from the project will therefore be less than significant.

**Water Quality.** The project site was not listed on the Department of Toxic Substances Control EnviroStor Database for cleanup, permitting, or investigation for any hazardous waste contamination. There are no hazardous conditions on the project site that could affect groundwater conditions, and any hazardous materials utilized during construction would be handled in accordance with all regulatory requirements. Water run-off from the project site flows eastbound along Burnet Avenue towards the storm drain inlet at the intersection of Villagio Way (a private street just four lots south of the subject site). The proposed project would maintain the existing water run-off flow into existing infrastructure. The project further would retain the first  $\frac{3}{4}$  -inch of rainfall or the rainfall from an 85<sup>th</sup> percentile 24-hour run-off event in compliance with the City of Los Angeles Low Impact Development Ordinance standards. The applicant will develop a Storm Water Pollution Protection Plan to establish Best Management Practices to mitigate erosion and sedimentation entering the storm water system during the construction process. The construction process will comply with water quality standards and discharge requirements per LAMC 64.70 and will not substantially degrade water quality during construction. Therefore, development of the proposed project would not degrade the quality of storm water runoff from the site and would not result in any significant effects relating to water quality.

**(e) The site can be adequately served by all required utilities and public services:**

The site is currently developed with an existing residential structure in an urbanized neighborhood characterized by residential uses. The project site is within the Los Angeles Department of Water and Power (LADWP) service area. The water service infrastructure will remain, and the project will continue to have access to potable water service. The City of Los Angeles Bureau of Sanitation (LASAN) has indicated that the proposed project presents no challenges to the provision of sewer services as well as solid waste resources to the proposed properties. The proposed project is within the range of the Los Angeles Police Department (LAPD) Mission Division in Reporting District 1962. The proposed project is subject to review by the LAPD for compliance with safety design guidelines. The project would be supported by the Los Angeles Fire Department (LAFD) and is under the jurisdiction of Valley Bureau Fire Station 7 and is directly subject to the building fire safety requirements. The subject property is in a fully improved neighborhood with existing fire hydrants that service the site, one adjacent to the southern property line. The proposed

project would be required to maintain appropriate fire flow and fire access, which will be assessed for compliance during the plan check after the units are constructed.

The proposed project would result in an impact to the demand upon local Los Angeles Unified School District (LAUSD) schools. The project would mitigate this challenge through the payment of a School Facilities Mitigation fee as mandated by Government Code Section 65995. The site is also adjacent to and within a half-mile of several schools. The proposed project could produce an increase in the demand on City of Los Angeles Recreation and Parks facilities due to the pending increase of residences through the project. There are two recreational facilities within a ¼-mile radius of the project site. Each unit developed through the project however would be beholden to recreation and park mitigation fees and the demand on the resources would be less than significant. The project is within a 1.5-mile radius of a Los Angeles Public Library (Mid-Valley Regional Branch) and is not anticipated to create a significant demand on library resources. Thus, the proposed project will continue to be serviced by the Department of Water and Power, Bureau of Sanitation, Southern California Gas Company, Los Angeles Police Department, Los Angeles Fire Department, Los Angeles Unified School District, Los Angeles Public Libraries and all other required utilities and public services.

### **EXCEPTIONS TO CATEGORICAL EXEMPTIONS**

Planning staff evaluated the exceptions to the use of Categorical Exemptions for the proposed ordinance listed in “CEQA Guidelines” Section 15300.2 and determined that none of the exceptions apply to the proposed project.

- (a) **Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.**

As the proposed project is not defined as a Class 3, 4, 5, 6 or 11 project, this exception is non-applicable. The Project site in an urbanized area in the City of Los Angeles. The project site is not located in a particularly sensitive environment and is not located on a site containing wetlands, endangered species, or wildlife habitats; therefore, this exception is not applicable.

- (b) **Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.**

This exception does not apply to the proposed project. The project involves the construction of residential units in an urbanized area developed with a variety of established residential uses. The project is consistent with the existing General Plan designation and zoning, which accounts for the impact of developments within their parameters. Any successive projects of the same type and nature would reflect a development that is consistent with the underlying land use designation and the LAMC, and thus would be subject to the same regulations and requirements, including development standards and environmental impacts. The impacts of each subsequent project will be mitigated if necessary, and thus will not result in a cumulative impact. Therefore, impacts under this category will be less than significant.

- (c) **Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.**

This exception does not apply to the proposed project. The project site is comprised of approximately 21,555 square feet of lot area located in an urbanized area within the City of Los Angeles. The project consists of residential uses and operations that are compatible with the surrounding urban development and consistent with the underlying zone. The project site is in a long-established neighborhood and is surrounded by a variety of other residential buildings. The site does not demonstrate any unusual circumstances, and the project will not generate significant impacts regarding traffic, air quality, water quality, or noise. There are no unusual circumstances that indicate this project would reasonably result in a significant effect on the environment.

- (d) **Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.**

This exception does not apply to the proposed project. According to the California Scenic Highway Mapping System, the project site is not located on or near a portion of a highway that is either eligible or officially designated as a state scenic highway. Therefore, this exception does not apply.

- (e) **Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.**

This exception does not apply to the proposed project. The project site is not listed as a hazardous waste site on EnviroStor, California's data management system for tracking hazardous waste sites. There are also no listed sites within the immediate vicinity of the project site. The subject property is currently developed with a single-family residence, and is surrounded by residential uses, thus, hazardous waste and materials would not be expected to pose a significant constraint on sites long developed with such uses.

Additionally, the project site is not located within a Methane Zone or Methane Buffer Zone, nor is it located in a Hazardous Waste/Border Zone Properties area as designated by the City of Los Angeles. The surrounding neighborhood is primarily developed with residential uses and public schools. Oils, elevators, in-ground hydrologic systems, monitoring or water supply wells, or above- or below-ground storage tanks, or potentially fluid-filled electrical equipment would not be expected on the project site. No industrial wastewater is generated on the project site and sanitary wastewater is discharged to the City Bureau of Sanitation. Therefore, this exception for a Class 32 Categorical Exemption does not apply to this project.

- (f) **Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.**

Databases of historic resources in the City of Los Angeles include SurveyLA and Historic Places LA, in addition to State and Federal databases of historic resources. According to these databases, there are no structures of historic significance on the property. There

are also no historic resources identified by any database on or immediately adjacent to the subject property. Accordingly, the project will have no impact on any historic resources.

Additionally, the project site is not located in a designated Historic Preservation Overlay Zone. The neighborhood surrounding the project site consists primarily of residential uses, with various single-family and multi-family neighborhoods along both streets. For these reasons, construction of the proposed project would not constitute a substantial adverse change in the significance of a historic resource as defined by CEQA, and this exception does not apply to the proposed project.

## **CONCLUSION**

The proposed project involves the demolition of an existing one-story single-family dwelling and the subdivision of an approximately 0.49-acre lot into seven individual lots, and the construction of a single-family residential dwelling unit with a two-car garage upon each subdivided lot. Each residential unit is two-stories with a roof deck and will not exceed 30 feet in height. The project is consistent and compatible with the surrounding developments which are all residentially zoned and is consistent with the existing General Plan designation, proposed zoning, and requirements of the Los Angeles Municipal Code. The project will not generate a significant number of vehicle trips and will not result in any significant impacts to land use planning, environmental habitat, noise, air quality, or water quality. The project is located in a long-established neighborhood, and thus will be adequately served by all required public utilities and services.

The project is in an urbanized area, it is not in a particularly sensitive environment, and will not impact an environmental resource of hazardous or critical concern that is designated, precisely mapped, or officially adopted by any federal, state, or local agency. The project will not result in any significant impacts and, therefore, will not make a cumulatively considerable contribution to any significant impacts that are not already accounted for by the General Plan and future environmental clearances. The project is consistent with the surrounding developments, including established residential and commercial uses, does not present any unusual circumstances that would result in a significant impact on the environment, and would not constitute a substantial adverse change in the significance of a historic resource as defined by CEQA. Therefore, none of the possible exceptions to Categorical Exemptions, found in Section 15300.2 Exceptions, apply to this project, and as such, the project qualifies for a Class 32 Categorical Exemption.

Case No. APCNV-2018-2850-ZC

# **EXHIBIT D**

# **Tree Report**



McKinley & Associates (818) 240-1358

## Certification Letter

May 1, 2018

Mr. Zion Hen  
5544 Yolanda Avenue, #307  
Tarzana, CA 91356

Dear Mr. Hen:

Recently you contacted me and requested a tree inspection and arborist letter regarding your property located at 9363 Burnet Avenue, North Hills.

### **Background/Observations:**

On Tuesday, May 1, 2018 at approximately 12:00 Noon I arrived at your property located at 9363 Burnet Avenue, North Hills, California. This property is in the City of Los Angeles. The existing house, trees and landscape do not appear to have been maintained in quite some time. The following tree species were observed growing on the subject property:

### **Tree Inspection Data:**

1. *Erythrina caffra* or Coral Tree; 4" 9" 11" 15" 16" 17" D.B.H.; Rating: C+
2. *Ficus benjamina* or Weeping Chinese Banyan; 20" D.B.H.; Rating: D+
3. *Callistemon viminalis* or Weeping Bottlebrush; 12" D.B.H.; Rating: D+
4. *Juglans hindsii* or California Black Walnut; 7" D.B.H.; Rating: C-
5. *Quercus agrifolia* or Coast Live Oak; 17" D.B.H.; Rating: B
6. *Quercus agrifolia* or Coast Live Oak; 12" D.B.H.; Rating: B-
7. *Washingtonia filifera* or California Fan Palm; 36" D.B.H.; Rating: C

### **Recommendation**

Development of the subject property will require the removal of the *Ficus benjamina*, *Callistemon viminalis* and *Washingtonia filifera* trees. The *Erythrina caffra*, *Juglans hindsii* and both *Quercus agrifolia* trees will be preserved. Since the 3 trees targeted for removal are over 8 inches in diameter at D.B.H. (Diameter Breast Height) they will be required to be replaced with 1-24 inch-box size tree for each tree removed. The new landscape plan must identify 3-24 inch-box size replacement trees on the site.

Arborists and Environmental Consultants



McKinley & Associates (818) 240-1358

**Certification**

As an I.S.A Certified Arborist and ASCA Consulting Arborist I further certify that there are 2-protected Coast Live Oak trees on the property. These native Oaks will be preserved and protected as per City of Los Angeles, Urban Forestry requirements. Protective orange fencing will be placed around all trees to be preserved. There are no native, protected California Bay, California Sycamore or Southern California Black Walnut trees growing on the subject property. There are protected Coast Live Oak trees on the neighboring property to the south however they will not be impacted by the proposed construction. There are no California Bay, California Sycamore or Southern California Black Walnut trees on neighboring properties which would be impacted by any future development of this property.

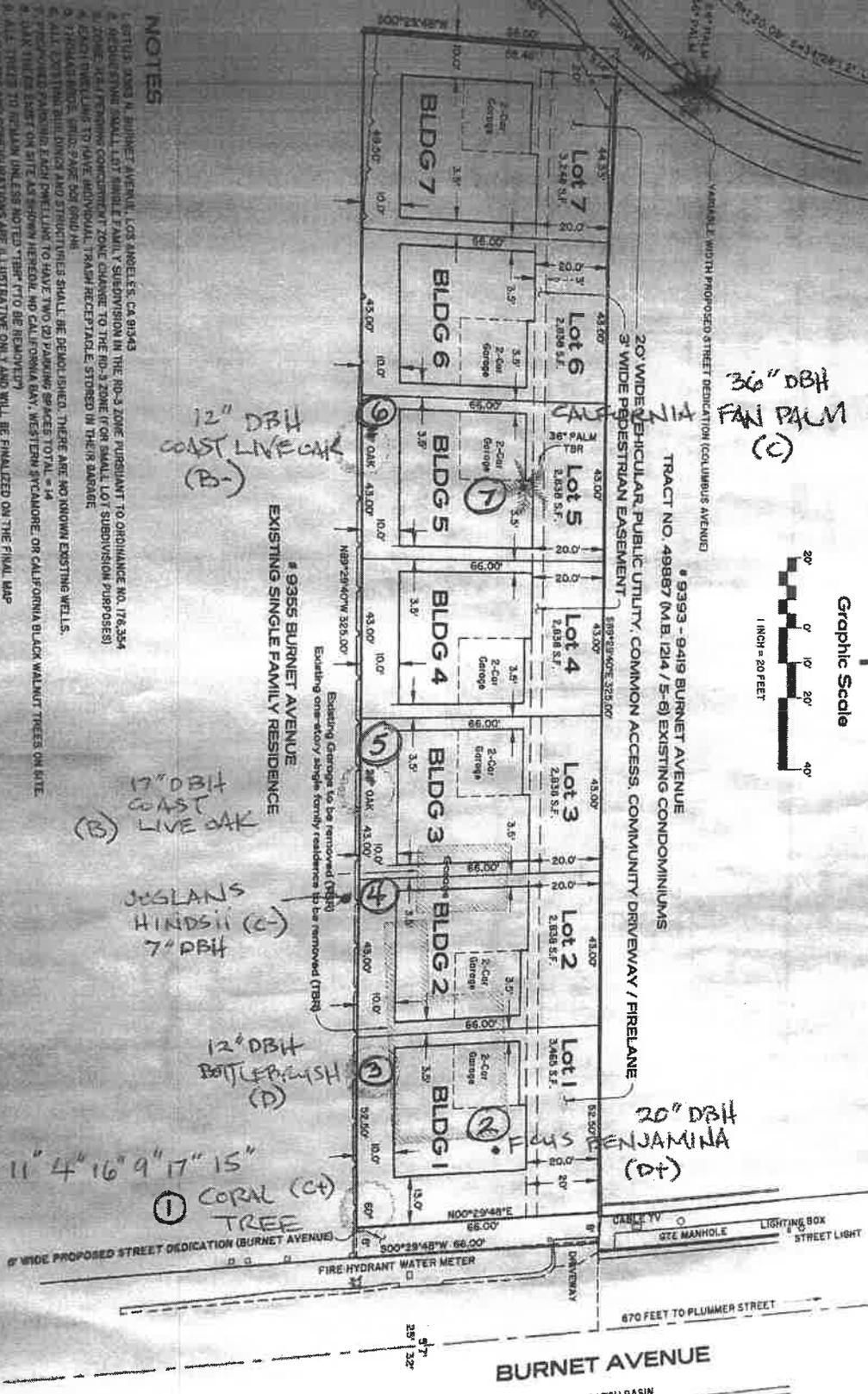
Should you require a more detailed report, my services are available. If you have questions, please feel free to contact me on my business cell phone at (818) 426-2432 or you may call my office (818) 240-1358.

*William R. McKinley*

William R. McKinley, Consulting Arborist  
American Society of Consulting Arborists  
Certified Arborist #WE-4578A  
International Society of Arboriculture

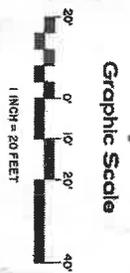
Arborists and Environmental Consultants

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**NOTES**

1. SETBACKS: 30' N. BURNET AVENUE, LOS ANGELES, CA 91103
2. RELOCATE EXISTING SMALL LOT SINGLE FAMILY SUBDIVISION IN THE RD-3 ZONE PURSUANT TO ORDINANCE NO. 176,354
3. ZONE: RD-3 (PERMITTED CONCURRENCE AT ZONE CHANGE TO THE RD-3 ZONE FROM SMALL LOT SUBDIVISION PURPOSES)
4. EXISTING BUILDINGS TO HAVE INDIVIDUAL TRASH RECEPTACLE STORED IN THEIR BACKYARD
5. 2' HOUSING BUFFER, 5' SIDE YARD SETBACK
6. ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE DEMOLISHED, THERE ARE NO KNOWN EXISTING WELLS.
7. SPECIFIC PARKING SPACES SHALL BE DEMONSTRATED, TOTAL = 14
8. ALL UTILITIES SHALL BE LOCATED AS SHOWN HEREON, AND CALIFORNIA (CA), WESTERN SYCAMORE OR CALIFORNIA BLACK WALNUT TREES ON SITE
9. ALL TREES TO REMAIN UNLESS NOTED "TO BE REMOVED"
10. ALL UTILITIES AND CONDUITS SHALL BE ALTERNATIVE ON "Y" AND WILL BE FINIALIZED ON THE FINAL MAP
11. FINAL LOT LINES TO BE BASED ON THE ANCESTRAL PLANS
12. EXISTING AND PROPOSED UTILITIES ARE AVAILABLE AND SERVING THE SITE
13. EXISTING BUILDING HEIGHT LIMIT ABOVE ELEVATION 790 / 200' HEIGHT LIMIT ABOVE ELEVATION 790
14. ALL UTILITIES, SEWER, HAZARDOUS LIQUID FACTOR ZONE, FLOODWAY, OR HAZARDOUS AREA, POTENTIALLY HAZARDOUS AREAS, GEOTECHNICAL HAZARDOUS AREAS, AREAS SUBJECT TO MINORATION OR FLOOD HAZARDS



BURNET AVENUE

SEWER MANHOLE

CATCH BASIN

Case No. APCNV-2018-2850-ZC

# **EXHIBIT E**

## **Communication**

**CITY OF LOS ANGELES**  
**INTERDEPARTMENTAL CORRESPONDENCE**

Date: May 13, 2022

To: Mr. Vincent P. Bertoni, Director  
Department of City Planning  
Attention: Deputy Advisory Agency

 for  
From: Bertram Moklebust, Principal Civil Engineer  
Permit Case Management Division  
Bureau of Engineering

Subject: **Vesting Tentative Tract No. 82084 - Modification of Condition**

On February 24, 2022, the Department of City Planning approve Vesting Tentative Tract Map No. 82084-SL for project located at 9363 N. Burnet Avenue. The letter of Determination under Condition No. S-3(h) (2) required the applicant to improve Columbus Avenue as follows:

Improve Columbus Avenue being dedicated and adjoining the subdivision by the removal of the existing non-permitted driveway and construct a new full-width concrete sidewalk along the entire frontage including any necessary removal and reconstruction of existing improvements.

On May 5, 2022, LADOT approved driveway plan to allow for driveway location along Columbus Avenue adjoining the subdivision. City Engineer respectfully request Advisory Agency to modify the following condition.

**Modify Condition No. S-3(h) (2) to read as follows:**

Remove the existing non-permitted driveway along Columbus Avenue and remove and replace damaged curb, gutter and sidewalk adjacent to this site. Construct a new driveway including any necessary removal and reconstruction of existing sidewalk, curb and gutter satisfactory to the City Engineer.

**All other existing City Engineer Conditions shall remain unchanged.**

Any questions regarding this report should be directed to Quyen Phan of Permit Case Management Division, located at 201 North Figueroa Street, Suite 290, or by calling (213) 808-8604.



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**FW: APCNV-2018-2850-ZC / 9363 Burnett**

**Marianne King** <making@socal.rr.com>  
To: Sarah Hounsell <sarah.hounsell@lacity.org>

Thu, May 5, 2022 at 3:45 PM

Hi Sarah,

This is the other comment I sent but was not confirmed. If you could share this, I'd appreciate it.

Thanks,

Marianne

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**From:** Marianne King [mailto:[making@socal.rr.com](mailto:making@socal.rr.com)]  
**Sent:** Tuesday, May 03, 2022 9:13 AM  
**To:** [apcnorthvalley@lacity.org](mailto:apcnorthvalley@lacity.org)  
**Subject:** APCNV-2018-2850-ZC / 9363 Burnett

Dear Commissioners,

I'm very happy to see the preservation of **4** existing on-site trees within this proposed small lot subdivision! Thank you to the applicant and Planning Dept. As noted, preserving existing mature shade trees wherever possible has multiple benefits all around and is becoming a critical issue for the Valley. This will also become important for the adjoining property if developed, which has similar trees on site. My concern is that the proposed preservation is unclear on the plans and conditions of approval. The landscape plan dated June 18, 2021 only shows **3 trees** are noted "to remain". The Black Walnut, Tree# 4 (Lot 2) per the tree report is missing. The tract map and site plan for the zone change also does not clearly identify which trees are "to remain." I strongly suggest the related plans (site plan, tract map, landscape plan) and related conditions of approval, Zone Change Q-Condition 3(b) and Tract Condition No. 19 clearly identify the trees to remain as supported by the tree report as follows:

Tree# 1, Coral Tree (Lot 1);

Tree# 4, Black Walnut Tree (Lot 2)

Tree# 5, Oak Tree (Lot 3)

Tree# 6, Oak Tree (Lot 5)

Additionally, it would be great to have a little landscaping in front of the 6-foot high decorative walls fronting both Burnett and Columbus. This is the existing build out pattern on Burnett with the other RD3 developments. It provides a more quaint residential appearance to have this visual break with natural plants (soft scape) between the hardscape of a concrete sidewalk and 6-foot high decorative walls. I also want to say, I really like the proposed wall design, the brick pattern and open on top – very attractive and appreciated, not just another boring stucco wall!

Thank you for your time and consideration,

